



SELECT BOARD CALENDAR 01/24/2023 | REMOTE MEETING

Please click this URL to Register & Find the Information to Join as an Attendee via your Confirmation Email:

https://brooklinema.zoomgov.com/webinar/register/WN_vUIuzny5To6B4bfl3Y6tww

- Heather A. Hamilton – Chair
- John VanScoyoc – Vice Chair
- Bernard W. Greene
- Miriam Aschkenasy
- Michael Sandman
- Charles Carey – Town Administrator

To Join by Phone: +1 646 828 7666
Webinar ID: 160 522 9181

To Watch and Comment:
BrooklineInteractive.org/live

1. **ANNOUNCEMENTS/UPDATES**
5:30 PM **Select Board to announce recent and/or upcoming Events of Community Interest.**
2. **PUBLIC COMMENT**
Public Comment period for residents who requested to speak to the Board regarding Town issues not on the Calendar.
Up to fifteen minutes for public comment shall be scheduled each meeting. Persons wishing to speak may sign up in advance beginning on the Friday preceding the meeting or may sign up in person at the meeting. Speakers will be taken up in the order they sign up. Advance registration is available by calling the Select Board's office at 617-730-2202 or by e-mail at kmacgillivray@brooklinema.gov. The full Policy on Public Comment is available at <http://www.brooklinema.gov/376/Meeting-Policies>
3. **MISCELLANEOUS**
 - 3.A. **Question of approving the minutes from January 17, 2023**
 - 3.B. **Question of approving the Authorization to Hire request from the Recreation Department for an Assistant Rec. Leader/Aquatic Supervisor (GN-7)**
 - 3.C. **Question of approving the following Change Orders from Gilbane Building Company related to the Driscoll School Project:**

Change Order #21, increase \$18,366.00, owner requested changes to bathroom wall tile to facilitate maintenance and provide added colored tile.

Change Order #22, increase \$30,223.00, various additions and deletions to scope of work as described in the summary pages and the architect's explanation of the changes in question.

3.D. Question of approving Change Order #7 with Lambrian Construction in the amount of \$129,936.00 for added scope to the project as described in the referenced documents.

3.E. Question of approving Change Order #3 with Thompson Waterproofing in the amount of \$19,465.79, for added scope to Fire Station #4 as part of the Building Envelope Repairs to Five Buildings project.

3.F. Question of Awarding and Executing a Contract with Mountain View Landscapes and Lawncare, Inc in the amount of \$1,389,300 for the Renovation of Margaret E. Robinson Playground.

**4. CALENDAR
Review and potential vote on Calendar Items**

**5. MARIJUANA SOCIAL EQUITY POLICY

Discussion and possible vote on the marijuana social equity policy.**

6. BOARDS AND COMMISSIONS - APPOINTMENTS

The following candidates for appointment/reappointment to Boards and Commissions:

Housing Advisory Board

The Town of Brookline does not discriminate on the basis of disability in admission to, access to, or operation of its programs, services, or activities. The Town of Brookline does not discriminate on the basis of disability in its hiring or employment practices. This notice is provided as required by Title II of the Americans with Disabilities Act (ADA) and by Section 504 of the Rehabilitation Act of 1973. Questions, complaints, or requests for additional information may be sent to Sarah Kaplan, Community Relations Specialist and ADA / Section 504 Coordinator. Persons with disabilities who need either auxiliary aids and services for effective communication, written materials in alternative formats, or reasonable modifications in policies and procedures in order to access programs and activities of the Town of Brookline are invited to make their needs and preferences known to the ADA Coordinator. This notice is available in alternative formats from the ADA Coordinator.

3.A.



MINUTES SELECT BOARD

01/17/2023 | 5:30 PM
VIA ZOOM REMOTE MEETING

Present: Select Board Member, Heather Hamilton, Select Board Member, Bernard W. Greene, Select Board Member, John VanScoyoc, Select Board Member, Miriam Aschkenasy, Select Board member, Michael Sandman

ANNOUNCEMENTS/UPDATES

The ARPA Committee is in the 7th round of disbursements, and are taking grant applications. The deadline is February 7th. This round will grant much smaller amounts than the previous round. Brookline Commission on Disability will hold a focus group on January 23rd related to communication aid

The MLK celebration event was very good with excellent presentations and performances. BIG will be posting a recording of the event.

There is a petition circulating on a proposed development in the Emerald Necklace area. The proposed development will cast shadows along the Muddy River Park. Change.org has the information to sign the petition opposing the environmental issues the development would bring to that area.

The Coolidge Corner Library will host the Lunar New Year event Sunday January 22, 2023 at 2pm.

PUBLIC COMMENT

Sean Lynn Jones, President of the Brookline Greenspace Alliance spoke in support of the Emerald Necklace petition. Longwood Place is the proposed major mixed-use development along Boston's riverway. The development is 1.7 million square feet, that will cause some severe shadows along the Muddy River Park. This will add 2-3 additional hours of shade, make the park colder and darker, increase snow and ice and make it harder for some plants to survive. This park is a regional historic resource. Boston is seeking \$7 million to offset the impacts and Mr. Lynn Jones urged that Brookline seek payments to cover any incurred cost.

Michael Alperin, Brookline Housing Authority, provided an update to the Board on Brookline's Emergency response to a flood at their 50 Pleasant Street property on New Year's Eve and New Year's Day. Many staff and volunteers came together to address the issue. People's lives were at risk. Public Safety, the Emergency Response Team, town staff and many other helped the residents to safety. The public libraries opened the Coolidge Corner branch to provide shelter.

Town Administrator Carey acknowledged the response team was ready and able to quickly respond.

3.A.

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MISCELLANEOUS

Question of approving the meeting minutes from January 10, 2023

On motion it was,

Voted to approve the meeting minutes from January 10, 2023

Aye: Heather Hamilton, Bernard Greene, John VanScoyoc, Miriam Aschkenasy, Michael Sandman

LODGING HOUSE AGENTS

Question of approving the application for 1061 Beacon Street change of Lodging House agent from Sachpreet Nehal to Yuzhan Yang.

Question of approving the application for 1077 Beacon Street change of Lodging House agent from Marissa Grunes to Sunyeok Park.

Question of approving the application for 89 Marion St. change of Lodging House agent from Darwin Aviles to Ludwin Carranza.

On motion it was,

1. Voted to approve the application for 1061 Beacon Street change of Lodging House agent from Sachpreet Nehal to Yuzhan Yang.

Aye: Heather Hamilton, Bernard Greene, John VanScoyoc, Miriam Aschkenasy, Michael Sandman

2. Voted to approve the application for 1077 Beacon Street change of Lodging House agent from Marissa Grunes to Sunyeok Park.

Aye: Heather Hamilton, Bernard Greene, John VanScoyoc, Miriam Aschkenasy, Michael Sandman

3. Voted to approve the application for 89 Marion St. change of Lodging House agent from Darwin Aviles to Ludwin Carranza.

Aye: Heather Hamilton, Bernard Greene, John VanScoyoc, Miriam Aschkenasy, Michael Sandman

AUTHORIZATION TO HIRE

Question of approving the Authorization to Hire Request within the Engineering Division - Civil Engineer (EN4)

On motion it was,

Voted to approve the Authorization to Hire Request within the Engineering Division - Civil Engineer (EN4)

Aye: Heather Hamilton, Bernard Greene, John VanScoyoc, Miriam Aschkenasy, Michael Sandman

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GRANTS

Question of accepting the following annual Fire Prevention/ Public Education grants offered and approved by the Commonwealth of Massachusetts, Executive Office of Public Safety to enhance our Community Risk Reduction (CRR) initiatives:

- \$6781.00 for Student Awareness of Fire Education (S.A.F.E.).
- \$2677.00 for Senior SAFE

On motion it was,

Voted to accept the following annual Fire Prevention/ Public Education grants offered and approved by the Commonwealth of Massachusetts, Executive Office of Public Safety to enhance our Community Risk Reduction (CRR) initiatives:

- \$6781.00 for Student Awareness of Fire Education (S.A.F.E.).
- \$2677.00 for Senior SAFE

Aye: Heather Hamilton, Bernard Greene, John VanScoyoc, Miriam Aschkenasy, Michael Sandman

CONTRACT

Question of approving the contract for the FY22 Emergency Management Performance Grant (EMPG) from MEMA in the amount of \$21,500 to be used a variety of goals, primarily Community Resilience and Planning.

On motion it was,

Voted to approve the contract for the FY22 Emergency Management Performance Grant (EMPG) from MEMA in the amount of \$21,500 to be used a variety of goals, primarily Community Resilience and Planning

Aye: Heather Hamilton, Bernard Greene, John VanScoyoc, Miriam Aschkenasy, Michael Sandman

DONATION

Question of accepting a \$800.00 Sponsorship from the Brookline Community Foundation for the Annual MLK Day Event to be held on January 16, 2023 requested by the Office of Diversity, Inclusion and Community Relations and Martin Luther King, Jr. Celebration Committee

On motion it was,

Voted to accept a \$800.00 Sponsorship from the Brookline Community Foundation for the Annual MLK Day Event to be held on January 16, 2023 requested by the Office of Diversity, Inclusion and Community Relations and Martin Luther King, Jr. Celebration Committee

Aye: Heather Hamilton, Bernard Greene, John VanScoyoc, Miriam Aschkenasy, Michael Sandman

APPROPRIATION TRANSFER

Question of approving the following appropriation transfer within the DPW Division:

From: B4004010 510101 Personnel/Sal \$190,000

To: 42004900 522070 Motor Veh/Equip repair \$110,000

42004900 534230 Motor Veh Supplies \$80,000

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On motion it was,

Voted to approve the following appropriation transfer within the DPW Division:

From: B4004010 510101 Personnel/Sal \$190,000

To: 42004900 522070 Motor Veh/Equip repair \$110,000

42004900 534230 Motor Veh Supplies \$80,000

Aye: Heather Hamilton, Bernard Greene, John VanScoyoc, Miriam Aschkenasy, Michael Sandman

BOSTON MARATHON

Question of approving the parade permit for the BAA's 127th Boston Marathon to be held on April 17th, 2023.

On motion it was,

Voted to approve the parade permit for the BAA's 127th Boston Marathon to be held on April 17th, 2023.

Aye: Heather Hamilton, Bernard Greene, John VanScoyoc, Miriam Aschkenasy, Michael Sandman

COMMON VICTUALLER AND ENTERTAINMENT LICENSE

Question of approving the application of a Common Victualler for Z&L Restaurant, Inc. d/b/a Cubist Circle at 220 Washington Street. Hours of operation will be Monday – Thursday 11:00am – 10:00pm, Friday – Saturday 11:00am – 11:00pm, Sunday 12:00pm – 10:00pm. Seating will consist of 16 inside seats.

Question of approving the application of a new Entertainment Z&L Restaurant, Inc. d/b/a Cubist Circle at 220 Washington Street. Entertainment will consist of radio, recorded music, and televisions Sunday - Saturday 11:00am – 11:00pm.

Attorney Chris Coleman introduced the applicant and reviewed his qualifications. This is their second establishment.

On motion it was,

1. Voted to approve the application of a Common Victualler for Z&L Restaurant, Inc. d/b/a Cubist Circle at 220 Washington Street. Hours of operation will be Monday – Thursday 11:00am – 10:00pm, Friday – Saturday 11:00am – 11:00pm, Sunday 12:00pm – 10:00pm. Seating will consist of 16 inside seats.
2. Voted to approve the application of a new Entertainment Z&L Restaurant, Inc. d/b/a Cubist Circle at 220 Washington Street. Entertainment will consist of radio, recorded music, and televisions Sunday - Saturday 11:00am – 11:00pm.

Aye: Heather Hamilton, Bernard Greene, John VanScoyoc, Miriam Aschkenasy, Michael Sandman

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LIQUOR - CHANGE IN MANAGER AND CHANGE OF OFFICER

Question of approving the application of a Change of Manager of Record from Joseph Lachance to Jonathan Webster for Trustees of Boston University d/b/a WBUR at 890 Commonwealth Ave.

Question of approving the application of a Change of Officer from Gary W Nicksa to Martin Howard for Trustees of Boston University d/b/a WBUR at 890 Commonwealth Ave.

Applicant John Webster reviewed his qualifications.

On motion it was,

1. Voted to approve the application of a Change of Manager of Record from Joseph Lachance to Jonathan Webster for Trustees of Boston University d/b/a WBUR at 890 Commonwealth Ave.
2. Voted to approve the application of a Change of Officer from Gary W Nicksa to Martin Howard for Trustees of Boston University d/b/a WBUR at 890 Commonwealth Ave

Aye: Heather Hamilton, Bernard Greene, John VanScoyoc, Miriam Aschkenasy, Michael Sandman

DRISCOLL SCHOOL UPDATE

Presentation and update on the Driscoll School Project.

Scott Ananian spoke on Driscoll School project in support of the flooring design decision, which was not taken lightly. The main entrance appearance is important to the school community, the flooring was part of the original project supported by the voters.

Kate Poverman asked why the sunshades were removed from the project and the terrazzo floors were included.

Jim Rogers and Andrew Deschenes from Leftfield LLC provided a PowerPoint review of the project.

- Project schedule is stabilized
- Occupancy date will follow after September 15th completion date.
- Milestones review
- Interior plans
- Schedule analysis -Construction progress
- Budget update \$3.8 million left in contingency after terrazzo flooring
- Terrazzo flooring cost summary

Project Administrator Tony Guigli addressed the sunshades briefly. These products were considered and carefully vetted and discussed by the Building Committee and others. The committee found they didn't justify the limited amount of energy savings; a lot of it was aesthetics.

Board member Aschkenasy, added the it was understood that the geothermal system that is now being installed would keep the temperature pretty even allowing for easy heating and cooling

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The board discussed the terrazzo flooring and some felt the cost being extremely expensive was not justified. It was noted that these flooring materials were custom ordered with a selected pattern and coloring, was that necessary? Is the return on investment a significant argument?

It was also noted that the flooring will be placed in the main entrance, a heavily traffic area.

Board member Aschkenasy added that the committee reviewed this very carefully and addressed the cost. Their decision was not just on cost, aesthetics, or efficiency, it was a combination, and the decision to use this product was not taken lightly. She added that the market and material demands were reflected in the bid process.

Leftfield added that this is a premium product in a grand space that will provide a wow factor.

Question of approving Contract Amendment #10, in the amount \$26,171.00, with Leftfield LLC, for added construction administration services for change to terrazzo flooring in certain sections of the school from VCT.

Question of approving Contract Amendment #22, in the amount of \$12,500.00 with Jonathan Levy Architects for services related to flooring at the Driscoll School project.

Question of approving Change Order #19, in the amount of \$478,231.00, with Gilbane Building Company related to terrazzo flooring in certain sections of the school from VCT.

On motion it was,

1. Voted to approve Contract Amendment #10, in the amount \$26,171.00, with Leftfield LLC, for added construction administration services for change to terrazzo flooring in certain sections of the school from VCT.

Aye: Heather Hamilton, Bernard Greene, John VanScoyoc, Miriam Aschkenasy, Michael Sandman

2. Voted to approve Contract Amendment #22, in the amount of \$12,500.00 with Jonathan Levy Architects for services related to flooring at the Driscoll School project.

Aye: Heather Hamilton, Bernard Greene, John VanScoyoc, Miriam Aschkenasy, Michael Sandman

3. Voted to approve Change Order #19, in the amount of \$478,231.00, with Gilbane Building Company related to terrazzo flooring in certain sections of the school from VCT.

Aye: Heather Hamilton, Bernard Greene, John VanScoyoc, Miriam Aschkenasy, Michael Sandman

FORMER NEWBURY COLLEGE SHORT TERM USE

Discussion and possible vote on the short-term use of the former Newbury College site.

Town Administrator Carey reviewed that the schools have asked to use some of the space at the old Newbury site during the Pierce School construction. Since then there have been a variety of discussions, both here and across town, inquiring is that the highest, best use of the space temporarily, and could the schools go somewhere else? On the town side, our position on this has always been, if the schools are to use this space, which is the upper two floors, we just ask that it be conditioned stringently that their space does not encroach on the town departments already housed there.

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Pierce School Interim Principal, Jamie Yadoff reviewed the logistics of relocating students from the Pierce School temporarily. They looked at the Clark Road, Driscoll and St. Mary's school. Their budget became a large factor as well as integrating the various classrooms, expanding class sizes and loss of school community.

The board discussed the school's ask for a mini café and physical education space and cautioned on the possibility of crowding out the building department.

David Pearlman, School Committee Chair, responded that the schools will be looking to utilize any additional space available, adding they do not want to displace any current functions in the space.

The board agreed upon a MOA that will outline the agreement for the short-term use of the space. It was noted that this is a town-owned building and many feel it should remain for the town to determine the best use, short-term and long-term.

Chair Hamilton made the motion:

I move that the public schools in Brookline be authorized to use portions of the former Newbury College site on a temporary basis during the short-term relocation of certain grades of the Pierce school, while that school's main building is being demolished and rebuilt under the condition of the town's existing uses of the Newbury College site, including, but not limited to uses, by town departments, and those covered by the existing parking of the site. All this will be codified an MOU put together by town staff.

On motion it was,

Voted that the public schools in Brookline be authorized to use portions of the former Newbury College site on a temporary basis during the short-term relocation of certain grades of the Pierce school, while that school's main building is being demolished and rebuilt under the condition of the town's existing uses of the Newbury College site, including, but not limited to uses by town departments, and those covered by the existing parking of the site. All this will be codified an MOU put together by town staff.

Aye: Heather Hamilton, Bernard Greene, John VanScoyoc, Miriam Aschkenasy, Michael Sandman

CONFLICT OF INTEREST DISCLOSURE

Discussion and possible vote on waiving the conflict of interest of Joslin Murphy, Trustee of the Walnut Hills Cemetery.

Joslin Murphy, Trustee of the Walnut Hill Cemetery, and deemed a municipal special municipal employee by this appointment, reviewed her request.

I am an appointed Trustee of the Walnut Hills Cemetery. At a meeting of the Cemetery Trustees this morning, the Trustees considered a proposal for development expansion in the Cemetery. Because I am an abutter of the Cemetery, I am "presumed" to have a financial interest in this particular matter. Consequently, I sought an opinion from the Ethics Commission and was advised that I could participate in the meeting today as a private citizen. At today's meeting, I disclosed the

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conflict and participated as a private citizen. At the meeting, the remaining four Trustees voted to pursue consideration of two areas of the Cemetery that I do not believe will have any impact on my property should they go forward. I am now seeking a determination from the Select Board, as my appointing authority, for a determination "that the financial interest is not so substantial as to be deemed likely to affect the integrity of the services which the municipality may expect from me" in accordance with G.L. c. 268A s. 19

Section 19: Municipal employees, relatives or associates; financial interest in particular matter

....(b) It shall not be a violation of this section (1) if the municipal employee first advises the official responsible for appointment to his position of the nature and circumstances of the particular matter and makes full disclosure of such financial interest, and receives in advance a written determination made by that official that the interest is not so substantial as to be deemed likely to affect the integrity of the services which the municipality may expect from the employee, ...

Ms. Murphy indicated there is no financial gain involved here, and should any future decisions by the Walnut Hill Cemetery Trustee's deem to have an impact in relation to her property she will return before the board.

On motion it was,

Voted that cemetery trustee, Joslin Murphy's presumptive conflict of interest in the expansion of the cemetery is not so substantial as to be deemed likely to affect the integrity of the services which the municipality may expect from her in the role as a cemetery trustee.

Aye: Heather Hamilton, Bernard Greene, John VanScoyoc, Miriam Aschkenasy, Michael Sandman

HOME RULE PETITIONS

Question of approving the filing of the following home rule petitions with the State Legislature as a result of the 2022 Special Town Meeting:

An Act authorizing the town of Brookline to amend its community choice aggregation plan (Article 23)

An Act authorizing the town of Brookline to adopt green zoning by-laws and regulations (Article 25)

An Act authorizing the establishment of a betterment loan program for the funding of electrification initiatives in the town of Brookline

Chair Hamilton announced that these articles were heavily debated at Town Meeting, and passed by Town Meeting. The town is required to put the votes into from and submit to the State legislature, for Home Rule consideration.

On motion it was,

Voted to approve the filing of the following home rule petitions with the State Legislature as a result of the 2022 Special Town Meeting:

1. An Act authorizing the town of Brookline to amend its community choice aggregation plan (Article 23)

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2. An Act authorizing the town of Brookline to adopt green zoning by-laws and regulations (Article 25)
3. An Act authorizing the establishment of a betterment loan program for the funding of electrification initiatives in the town of Brookline (Article 21)

Aye: Heather Hamilton, Bernard Greene, John VanScoyoc, Miriam Aschkenasy, Michael Sandman

BOARDS AND COMMISSIONS - APPOINTMENTS

The following candidates for appointment/reappointment to Boards and Commissions:

Economic Development Advisory Board

On motion it was,

Voted to reappoint Alan Christ to the Economic Development Advisory Board for a term ending in 2026

Aye: Heather Hamilton, Bernard Greene, John VanScoyoc, Miriam Aschkenasy, Michael Sandman

There being no further business the Chair ended the meeting at 7:50 pm.

ATTEST



Town of Brookline

Massachusetts

Authorization To Hire Request Form

1. Position **TITLE:** Assistant Recreation Leader/Aquatic Supervisc Grade: GN-7
2. Department: Recreation Division: Aquatic
3. Position Control #: 630000039 Prior Incumbent: Meagan Beardon
 - a. Reason for Leaving: took an opportunity with YMCA
4. Budgetary Information:

Department Code: 63006310 Budget Code: 510101 % 100

☐ Grant Funded-Name of Grant: _____ ☐ Revolving Fund ☐ Enterprise Fund
6. Employment Type:

☒ Full-Time: # of hours/week: 40 ☐ Part-Time: # of hours/week: _____

☐ Permanent ☐ Temporary: expected end date (required) _____/_____/_____
7. Method of Fill:

☒ Promotion – To be Posted Internally from: _____/_____/_____ to _____/_____/_____

☒ New Hire ☐ Transfer – Please explain: _____
8. List the top three essential functions of this position:
 1. Functions as the evening and weekends on-site full-time supervisor,
 2. Responsible for closing building and maintaining building security at all times.
 3. Delivers staff training, including pre-hire skills assessments; in-service training, ongoing drills
9. I have considered the following alternatives to filling this position:

internal promotion; _____

10. The alternatives are less desirable than new hire action for the following reasons:-continued on reverse side-

no known internal candidates _____


Authorization To Hire Request Form

11. Suggested sources for specialized recruitment advertising: (other than local papers)

Human Resources will work closely with the department to post the position widely with recruiting websites and multiple targeted affinity group job boards, professional groups and diversity recruiting sites.

12. Please attach the current position description.

13. Signatures:

Department Head Signature: 	Date: 1/18/23
Human Resources Director: _____	Date: _____
Town Administrator: _____	Date: _____

14. Approvals:

Date on BOS Agenda: _____	Date Approved: _____
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15. Notes:

ASSISTANT RECREATION LEADER - AQUATICS SUPERVISOR

Grade GN-07
Revised: March 2021

PRIMARY PURPOSE

The purpose of this position is to directly supervise the part-time staff responsible for providing aquatics programs and services; oversee and assist with daily operations; participate in short-term and long-range planning, perform a variety of manual and technical, as well as risk management oversight and facility supervision. Administer tasks relative to assigned area of responsibility; perform all other work as required.

SUPERVISION

Works under the general direction of the Aquatics Director and Assistant Aquatics Director, following department rules and regulations.

SUPERVISORY RESPONSIBILITIES

Responsible for the day-to-day supervision of part-time and temporary staff, making the most effective and efficient use of skills, facilities, and equipment available. Duties are diverse and require the ability to problem solve. Exercises direct supervision over approximately 50 part-time staff including lifeguards, swim instructors, swim coaches and internal program specialty instructors.

WORK ENVIRONMENT

Work is performed in indoor multi-pool natatorium with exposure to pool chemicals and some cleaning agents. Will have access to office space, including computer and telephone, to complete administrative tasks.

The employee monitors facility safety, building security, and ensures compliance with DPH safety regulations and OSHA regulations for three pools and a mechanical equipment room; The employee operates standard office equipment, medical equipment, hand tools and lifeguard rescue equipment.

Interacts daily with other aquatics and recreation employees, Brookline town officials, the general public, special -use groups and rentals.

Regularly works evening and weekend shifts.

Errors could result in monetary loss, personal injury or injury to others, or delay or loss of service.

ESSENTIAL DUTIES AND RESPONSIBILITIES

(The essential functions or duties listed below are intended only as illustrations of the various types of work that may be performed. The omission of specific statements of duties does not exclude them from the position if the work is similar, related or a logical assignment to the position.)

Functions as the evening and weekends on-site full-time supervisor, responsible for management of all operations and personnel of the Aquatics facility in the absence of the Aquatics Director and Aquatics Assistant Director. Responsible for closing building and maintaining building security at all times.

Check all areas of the facility to ensure every element of the building and facility, including three pools, locker rooms and mechanical equipment room is in working order; Test the pool chemicals and

*Assistant Recreation Leader/Aquatics Supervisor
Recreation Department*

3.B.

other required safety measures necessary to operate the aquatic facility safely and in compliance with local, state, and federal regulations; ensure that the facility is kept clean and safe for patrons and pool staff. Ensure that building security is maintained at all times.

Responsible for the day-to-day supervision of 50 plus part-time aquatics center staff.

Delivers staff training, including but not limited to pre-hire skills assessments; in-service training, including ongoing drills designed to evaluate and improve staff skills, new hire orientation.

Ensures swim instructor staff deliver quality lessons and complete and maintain current and accurate records of their students' skills.

Mentors part-time staff and recommends solutions to address part-time staff issues. Alerts Evelyn Kirrane Aquatics Center (EKAC) management to matters which require disciplinary action.

Assist in securing auxiliary and substitute part-time staff for safe operation of facility. Assist with planning and oversight of special events such as community open houses and part-time staff functions.

Assist management in the planning, scheduling, and staffing of special events and pool rentals, as well as staffing for intersessions and holidays.

Assist with inventory assessment and control, including rescue equipment, medical and pool supplies, perform weekly payroll computation through MUNIS utilizing online software data as needed.

Act as Head Lifeguard and supervisor on deck. Perform lifeguard duties as needed; perform lesson instruction as needed.

Performs similar or related work as required, directed or as situation dictates.

RECOMMENDED MINIMUM QUALIFICATIONS

EDUCATION AND EXPERIENCE

Associates degree, at least three years of experience as a lifeguard, at least one year of supervisory experience (Head Lifeguard, Manager, etc.), Bachelor's degree preferred, or any equivalent combination of training and experience which provides the required knowledge, skills and abilities.

ADDITIONAL REQUIREMENTS

American Red Cross Lifeguard Training (or equivalent) American Red Cross Water Safety Instructor (or equivalent) CPR/AED for the Professional rescuer and Standard First Aid, Emergency Oxygen Administration

Additional *Preferred* Certifications within six months of hire: Certified Pool Operator, Lifeguarding Instructor, Water Exercise Instructor and Swim Coach

KNOWLEDGE, ABILITY AND SKILL

Knowledge of principles and practices associated with the supervision of an aquatic facility, current trends associated with swimming and aquatic safety, and customer service.

Expert knowledge of water safety, lifeguard practices, First Aid and CPR, current trends associated with swimming and aquatic safety, and customer service. Knowledge of the principles of supervision,

*Assistant Recreation Leader/Aquatics Supervisor
Recreation Department*

3.B.

training, and performance evaluation. Knowledge of payroll. Knowledge of pertinent federal, state, and local laws, MA state health codes and regulations. Knowledge of computer programs, including, but not limited to Microsoft products such as Word, Excel, and Outlook.

Ability to effectively and independently supervise staff; create and maintain a safe and welcoming environment for pool patrons and customers and communicate well with the same; conduct various swimming instruction programs and promote activities to EKAC Staff; ability to perform payroll entry.

Ability to learn pertinent software programs including but not limited to: Recreation specific software, scheduling, and timeclock platforms. Able to effectively assess problems and achieve effective resolution.

Skill: Strong skills in swimming and lifesaving, verbal and written communication, interpersonal interactions, decision-making and team building, computer literacy.

PHYSICAL REQUIREMENTS

Moderate to strenuous physical effort is required to perform swimming activities. The employee is frequently required to stand, walk, speak, hear, sit, use hands to operate equipment, and may be required to lift more than 60 pounds when making a rescue or moving equipment, if needed. Vision requirements include the ability to read routine and technical documents, use a computer and operate testing equipment.

(This job description does not constitute an employment agreement between the employer and employee. It is used as a guide for personnel actions and is subject to change by the employer as the needs of the employer and requirements of the job change.)

Jonathan Levi Architects
266 beacon street boston ma 02116 tel 617.437.9458 fax 617.837.6749 www.leviarc.com

1/1/23
Driscoll School Project
Change Order #21 Summary

<u>Change Proposal Number</u>	<u>Change Value</u>
ATP 164 PR 30 Toilet Room Modifications	\$18,366.00
Owner scope change to incorporate additional ceramic tile pattern and color in toilet rooms and locker rooms. The architect will not charge a redesign fee for <u>this additional work</u>	
Total Change Order Value	\$18,366.00



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Driscoll School Project

Change Order #22 Summary

<u>Change Proposal Number</u>	<u>Change Value</u>
ATP 92R1 RFI 112 Primed Break Metal Covers in Gym	\$11,252.00
ATP 177 RFI 476 Relocate Fence and Patch Asphalt for Geothermal	\$3,356.00
ATP 179 ASI 156 Climbing Walls & Cementitious Wall Panel Finish	\$8,150.00
ATP 181 RFI 494 Added Hooks at Cubbies	\$6,784.00
ATP 183 ASI 63 Summer Beam HVAC Clarification	\$681.00
Total Change Order Value	\$30,223.00

ATP 92R1 RFI 112 Primed Break Metal Covers in Gym \$11,252.00
Primed break metal enclosure covers for the hot water risers in the Gym and Small Gym for protection.

ATP 177 RFI 476 Relocate Fence and Patch Asphalt for Geothermal \$3,356.00
Owner scope change to have a larger Phase 2 play area at the entry of the school to be ready for school opening. This requires placement of the full concrete entry plaza in Phase 1. Costs result from relocating the fence, cutting and patching asphalt at the Phase 1 Temp Playground, extending the geothermal lines and ties further from the new building.

ATP 179 ASI 156 Climbing Walls & Cementitious Wall Panel Finish \$8,150.00
Owner scope change to modify wall framing and wall finishes to allow for the installation of 2 climbing walls (provided by the Owner), one in the Small Gym and one in the OT/PT Room. Includes the credit for deletion of wall pads in the Small Gym where the climbing walls are to be located.

ATP 181 RFI 494 Added Hooks at Cubbies \$6,784.00
Owner scope change to add 1 double coat hook in every open cubby on Levels 2 and 3.

ATP 183 ASI 63 Summer Beam HVAC Clarification \$681.00
Cost to install an additional return air grille in the ceiling grid in LAHB Resource Room 4124 in lieu of utilizing the summer beam as a return air path.



Owner Change Order (OCO)

Project Name: Brookline - Driscoll
School
Gilbane Project No.: J08864.000



OCO:OCO-0022

PCI:BT-00029, OS-00102, OS-00155, OS-00173, OS-00176, OS-00195

Alternate Tracking #:

Attention: Tony Guigli
Owner: Town of Brookline
Address: 333 Washington Street

Date Issued: 1/3/2023 10:40:53 AM

Brookline, MA 02445 US
Architect: Jonathan Levi Architects LLC, Mark Warner

The Contract changes as follows:

Scope Of Changes: Jan 2023 OCO 22 - ATP 92,157,177,179,181 and 183

Description:

Additional Description

Attachments:

Number	Title	PCI	Change Date	Revision
00000001	backup for oco 22.pdf		01/03/2023	

Job	PCI Code	Phase Code	Description	Subcontractor	Basis	Amount	Accept	ATP
J08864.000		01.31A.311000.X	Sitework	J. Derenzo Company	Final	\$826.00	<input checked="" type="radio"/> Yes <input type="radio"/> No	ATP-0157
J08864.000		01.31A.311000.X	Sitework	J. Derenzo Company	Final	\$2,908.00	<input checked="" type="radio"/> Yes <input type="radio"/> No	ATP-0157
J08864.000		01.31A.311000.X	Sitework	J. Derenzo Company	Final	\$3,063.00	<input checked="" type="radio"/> Yes <input type="radio"/> No	ATP-0157

3.C.

Job	PCI Code	Phase Code	Description	Subcontractor	Basis	Amount	Accept	ATP
J08864.000		02.89A.899900.X	GILBANE CONTINGENCY (YFH)		Final	-\$6,797.00	<input type="radio"/> Yes <input type="radio"/> No	ATP- 0157
TOTAL FOR PCI No. BT-00029						\$0.00		
J08864.000		01.05B.050000.X	Misc. and Ornamental Metals	United Steel, Inc.	Final	\$10,360.00	<input type="radio"/> Yes <input type="radio"/> No	ATP- 0092
J08864.000		01.09D.090003.X	Painting	Color Concepts Inc	Final	\$0.00	<input type="radio"/> Yes <input type="radio"/> No	ATP- 0092
J08864.000		99.970.950050.Z	Gen & Excess Liability Insurance			\$295.00	<input type="radio"/> Yes <input type="radio"/> No	ATP- 0092
J08864.000		99.970.997000.Z	Performance & Payment Bond			\$62.00	<input type="radio"/> Yes <input type="radio"/> No	ATP- 0092
J08864.000		99.999.999000.Z	Fee			\$535.00	<input type="radio"/> Yes <input type="radio"/> No	ATP- 0092
TOTAL FOR PCI No. OS-00102						\$11,252.00		
J08864.000		01.09A.051001.S	Drywall / General Trades	Central Ceilings Inc	Final	\$9,888.00	<input type="radio"/> Yes <input type="radio"/> No	ATP- 0179
J08864.000		01.09E.095100.X	Acoustic Tile	The Cheviot Corporation	Final	\$0.00	<input type="radio"/> Yes <input type="radio"/> No	ATP- 0179
J08864.000		01.11B.116000.X	Gym Equipment	The Pappas Company, Inc.	Final	-\$2,473.00	<input type="radio"/> Yes <input type="radio"/> No	ATP- 0179
J08864.000		99.970.950050.Z	Gen & Excess Liability Insurance		Final	\$213.00	<input type="radio"/> Yes <input type="radio"/> No	ATP- 0179
J08864.000		99.970.997000.Z	Performance & Payment Bond		Final	\$45.00	<input type="radio"/> Yes <input type="radio"/> No	ATP- 0179
J08864.000		99.975.996000.Z	Subcontractor Default Insurance		Final	\$89.00	<input type="radio"/> Yes <input type="radio"/> No	ATP- 0179
J08864.000		99.999.999000.Z	Fee		Final	\$388.00	<input type="radio"/> Yes <input type="radio"/> No	ATP- 0179
TOTAL FOR PCI No. OS-00155						\$8,150.00		
J08864.000		01.09A.051001.S	Drywall / General Trades	Central Ceilings Inc	Final	\$0.00	<input type="radio"/> Yes <input type="radio"/> No	ATP- 0183
J08864.000		01.09E.095100.X	Acoustic Tile	The Cheviot Corporation	Final	\$0.00	<input type="radio"/> Yes <input type="radio"/> No	ATP- 0183
J08864.000		01.23A.230000.TC	HVAC	Patrick J Kennedy & Sons Inc	Final	\$627.00	<input type="radio"/> Yes <input type="radio"/> No	ATP- 0183
J08864.000		99.970.950050.Z	Gen & Excess Liability Insurance		Final	\$18.00	<input type="radio"/> Yes <input type="radio"/> No	ATP- 0183
J08864.000		99.970.997000.Z	Performance & Payment Bond		Final	\$4.00	<input type="radio"/> Yes <input type="radio"/> No	ATP- 0183
J08864.000		99.975.996000.Z	Subcontractor Default Insurance		Final	\$0.00	<input type="radio"/> Yes <input type="radio"/> No	ATP- 0183
J08864.000		99.999.999000.Z	Fee		Final	\$32.00	<input type="radio"/> Yes <input type="radio"/> No	ATP- 0183
TOTAL FOR PCI No. OS-00173						\$681.00		
J08864.000		01.31A.311000.X	Sitework	J. Derenzo Company	Final	\$3,052.00	<input type="radio"/> Yes <input type="radio"/> No	ATP- 0177
J08864.000		99.970.950050.Z	Gen & Excess Liability Insurance		Final	\$88.00	<input type="radio"/> Yes <input type="radio"/> No	ATP- 0177

3.C.

Job	PCI Code	Phase Code	Description	Subcontractor	Basis	Amount	Accept	ATP
J08864.000		99.970.997000.Z	Performance & Payment Bond		Final	\$19.00	<input checked="" type="radio"/> Yes <input type="radio"/> No	ATP-0177
J08864.000		99.975.996000.Z	Subcontractor Default Insurance		Final	\$37.00	<input checked="" type="radio"/> Yes <input type="radio"/> No	ATP-0177
J08864.000		99.999.999000.Z	Fee		Final	\$160.00	<input checked="" type="radio"/> Yes <input type="radio"/> No	ATP-0177
TOTAL FOR PCI No. OS-00176					\$3,356.00			
J08864.000		01.06A.053000.X	Millwork	Polybois Inc	Final	\$6,172.00	<input checked="" type="radio"/> Yes <input type="radio"/> No	ATP-0181
J08864.000		99.970.950050.Z	Gen & Excess Liability Insurance		Final	\$178.00	<input checked="" type="radio"/> Yes <input type="radio"/> No	ATP-0181
J08864.000		99.970.997000.Z	Performance & Payment Bond		Final	\$37.00	<input checked="" type="radio"/> Yes <input type="radio"/> No	ATP-0181
J08864.000		99.975.996000.Z	Subcontractor Default Insurance		Final	\$74.00	<input checked="" type="radio"/> Yes <input type="radio"/> No	ATP-0181
J08864.000		99.999.999000.Z	Fee		Final	\$323.00	<input checked="" type="radio"/> Yes <input type="radio"/> No	ATP-0181
TOTAL FOR PCI No. OS-00195					\$6,784.00			

Submitted Amt: \$30,223.00 Total: \$30,223.00

Owner Change Order (OCO)

Project Name: Brookline - Driscoll
 School
 Gilbane Project No.: J08864.000

OCO: OCO-0021

PCI: OS-00144
 Alternate Tracking #:

Attention: Tony Guigli
 Owner: Town of Brookline
 Address: 333 Washington Street

Date Issued: 12/29/2022 9:44:11 AM

Brookline, MA 02445 US
 Architect: Jonathan Levi Architects LLC, Mark Warner

The Contract changes as follows:

Scope Of Changes: PR 30 Toilet Room finish revisions

Description: This OCO represents costs for the tile and backsplash revisions depicted in PR #30. Note that costs for modifications to toilet accessories were submitted separately in ATP 167 currently under review.

Additional Description

Attachments:

Number	Title	PCI	Change Date	Revision
00000001	ATP-164 PR #30 Toilet Room Modifications- Pavilion, Central, & Polybois_signed-JLA.pdf		12/29/2022	

Job	PCI Code	Phase Code	Description	Subcontractor	Basis	Amount	Accept	ATP
J08864.000		01.06A.053000.X	Millwork	Polybois Inc	Final	\$3,334.00	<input checked="" type="radio"/> Yes <input type="radio"/> No	ATP-0164
J08864.000		01.08B.080000.E	Glass and Glazing	Kapiloff's Glass, Inc.	Final	-\$100.00	<input checked="" type="radio"/> Yes <input type="radio"/> No	ATP-0164
J08864.000		01.09A.051001.S	Drywall / General Trades	Central Ceilings Inc	Final	\$2,603.00	<input checked="" type="radio"/> Yes <input type="radio"/> No	ATP-0164

Job	PCI Code	Phase Code	Description	Subcontractor	Basis	Amount	Accept	ATP
J08864.000		01.09C.093000.X	Tile	Pavilion Floors Inc	Final	\$11,002.00	<input checked="" type="radio"/> Yes <input type="radio"/> No	ATP-0164
J08864.000		99.970.950050.Z	Gen & Excess Liability Insurance			\$481.00	<input checked="" type="radio"/> Yes <input type="radio"/> No	ATP-0164
J08864.000		99.970.997000.Z	Performance & Payment Bond			\$101.00	<input checked="" type="radio"/> Yes <input type="radio"/> No	ATP-0164
J08864.000		99.975.996000.Z	Subcontractor Default Insurance			\$71.00	<input checked="" type="radio"/> Yes <input type="radio"/> No	ATP-0164
J08864.000		99.999.999000.Z	Fee			\$874.00	<input checked="" type="radio"/> Yes <input type="radio"/> No	ATP-0164
TOTAL FOR PCI No. OS-00144					\$18,366.00			

Submitted Amt:

\$18,366.00

Total:

\$18,366.00

3.C.

Signature of the Owner indicates agreement herewith, including any adjustment in the Contract Sum or the Contract Time

The Original Contract price was	\$94,298,030.00
Net change by previously authorized Change Orders	\$5,739,837.00
Contract Price prior to this Change Order	\$100,037,867.00
Contract Price will be changed by this Change Order in the Amount	\$18,366.00
The new Contract Price including this Change Order will be	\$100,056,233.00
The Contract Time will be changed by	0
The date of Substantial Completion for construction as of the date of this Change Order therefore is	08/14/2024

Gilbane Building Company

Gilbane Building Company	
Signed: 12/29/2022 9:44:11 AM Eastern Standard Time - By: Linda Rosenberg (Senior Project Manager)	
Gilbane Building Company: 10.20.0.75	

Jonathan Levi Architects LLC

By:	<u>Carol Harris</u>
Title:	<u>Project Manager</u>
Company:	<u>Jonathan Levi Architects</u>
Date:	<u>01/03/23</u>
Printed Name:	<u>Carol Harris</u>

LEFTFIELD, LLC

By:	<u>Lynn Stapleton</u>
Title:	<u>Project Manager</u>
Company:	<u>LeftField Project Management</u>
Date:	<u>01/03/23</u>
Printed Name:	<u>Lynn Stapleton</u>

Town of Brookline

By:	<u></u>
Title:	<u></u>
Company:	<u></u>
Date:	<u></u>
Printed Name:	<u></u>

3.C.

**Gilbane Building Company
Authorization To Proceed**


CONTRACT FOR: Brookline - Driscoll School
OWNER: Town of Brookline
ADDRESS: 333 Washington Street
 Brookline , MA, 02445

ARCHITECT: Jonathan Levi Architects LLC, Mark Warner

PROJECT NUMBER: J08864.000
ATP NO: ATP-0164
ATP VERSION: 0
DATE OF ISSUANCE: 10/17/2022
SUBMITTED BY: Gilbane Building Company

**ALTERNATE
TRACKING #:**

The Contract Documents are hereby amended to include the additional Work described below, which is outside of the current scope of the Work and constitutes a change.

Upon Owner approval, Gilbane Building Company **will proceed with the Work promptly.**

Costs as incurred are in addition to the current contract Sum and will be invoiced and paid on a monthly basis and identified as separate items within the requisition. Once final cost of the Work involved and change in Sum and Time (if any) are fully determined, it will be submitted for inclusion in a final Change Order adjusting the Contract Sum and/or Time.

TITLE: PR #30 Toilet Room Modifications-Pavilion,Central,&Polybois

DESCRIPTION: This ATP represents the tile portion of PR #30 toilet room modifications with the addition of tile and back splash in toilet and locker rooms.

Attachments:

Number	Description:	PCI Number	Change Date	Revision
00000001	ATP-164 Backup.pdf		10/17/2022	

The Following information is provided by Gilbane Building Company

Method of determining change in Contract:

☒ Guaranteed Maximum Price
 ☐ Cost Plus Fee
 ☐ Unit Price
 ☐ Lump Sum
 ☐ Other

Change In Contract Sum

Dollar Amount: \$18,366.00

☒ Fixed
 ☐ Maximum
 ☐ Estimated
 ☐ Time and Material

Change In Contract Time

Time (Days): TBD

☐ Fixed
 ☐ Maximum
 ☒ Estimated

Job	PCI No.	Description	Phase Code	SubContractor	Amount	Accept?
J08864.000	OS-00144	Millwork	01.06A.053000.X	Polybois Inc	\$3,334.00	<input type="radio"/> Yes <input type="radio"/> No
J08864.000	OS-00144	Glass and Glazing	01.08B.080000.E	Kapiloff's Glass, Inc.	-\$100.00	<input type="radio"/> Yes <input type="radio"/> No

Job	PCI No.	Description	Phase Code	SubContractor	Amount	Accept?
J08864.000	OS-00144	Drywall / General Trades	01.09A.051001.S	Central Ceilings Inc	\$2,603.00	<input type="radio"/> Yes <input type="radio"/> No
J08864.000	OS-00144	Tile	01.09C.093000.X	Pavilion Floors Inc	\$11,002.00	<input type="radio"/> Yes <input type="radio"/> No
J08864.000	OS-00144	Gen & Excess Liability Insurance	99.970.950050.Z		\$481.00	<input type="radio"/> Yes <input type="radio"/> No
J08864.000	OS-00144	Performance & Payment Bond	99.970.997000.Z		\$101.00	<input type="radio"/> Yes <input type="radio"/> No
J08864.000	OS-00144	Subcontractor Default Insurance	99.975.996000.Z		\$71.00	<input type="radio"/> Yes <input type="radio"/> No
J08864.000	OS-00144	Fee	99.999.999000.Z		\$874.00	<input type="radio"/> Yes <input type="radio"/> No
TOTAL FOR PCI No. OS-00144					\$18,366.00	

Submitted Amt: \$18,366.00

3.C.

Gilbane Building Company

Gilbane Building Company	
Signed: 10/19/2022 5:07:08 AM Eastern Standard Time - By: Kathryn Hurley (Project Executive)	
Gilbane Building Company: 10.41.24.160	

Jonathan Levi Architects LLC

By:	<u>Carol Harris</u>
Title:	<u>Project Manager</u>
Company:	<u>Jonathan Levi Architects</u>
Date:	<u>12/14/22</u>
Printed Name:	<u>Carol Harris</u>

LEFTFIELD, LLC

By:	<u></u>
Title:	<u></u>
Company:	<u></u>
Date:	<u></u>
Printed Name:	<u></u>

Town of Brookline

By:	<u></u>
Title:	<u></u>
Company:	<u></u>
Date:	<u></u>
Printed Name:	<u></u>

Date: 10/17/2022
Revised:

Project Name: Michael Driscoll School
Project No: J08864

Change Summary

Change Number: OS-00144
Description: PR #30 Toilet Room Modifications- Pavilion- Toiler Room Tile

Bid Package / Scope of Work	Subcontractor	Cost
02A Abatement / Demolition	American Environmental	\$0.00
03A Concrete	Marguerite Concrete, Inc.	\$0.00
05A Structural Steel	SuperMetal Structures Inc.	\$0.00
06A Millwork	Polybois	\$3,334.00
07C Metal Panel	Salem Glass Company	\$0.00
07D Spray Fireproofing	Ricmor Construction, Inc.	\$0.00
08A Storefront	Salem Glass Company	\$0.00
08C Doors, Frames, and Hardware	Kamco Supply Corp. of Boston	\$0.00
09A Drywall & General Trades	Central Ceilings, Inc.	\$2,603.00
09G Resinous Floors	Stonhard	\$0.00
09H Carpeting	Capital Carpet & Flooring Specialists	\$0.00
10A Specialties	Managanaro	\$0.00
10B Signage	Metro Signs	\$0.00
11B Gym Equipment and Bleachers	The Pappas Co.	\$0.00
11C Food Service Equipment	Kitteridge Equipment Company, Inc.	\$0.00
11D Theater Equipment	Barbazon	\$0.00
31A Site Enabling	J. Derenzo Co.	\$0.00
32A Landscaping	Greenscape	\$0.00
Subguard Insurance (CDI)	1.20%	\$71.00
Subcontractor Total		\$6,008.00

Bid Package / Scope of Work	Trade Contractor	Cost
04A Masonry	Fernandes Masonry, Inc.	\$0.00
05B Miscellaneous & Ornamental Iron	United Steel, Inc.	\$0.00
07A Waterproofing and Caulking	Armani Restoration, Inc.	\$0.00
07B Roofing and Flashing	J.D. Rivet & Co. Inc.	\$0.00
08B Glass and Glazing	Kapiloff's Glass, Inc.	(\$100.00)
09B Resilient Flooring	CJM Services, Inc.	\$0.00
09C Tile	Pavillion Floors, Inc.	\$11,002.00
09D Painting	Color Concepts Inc.	\$0.00
09E Acoustical Ceiling Tile	The Cheviot Corporation	\$0.00
14A Elevator	Delta Elevator Service Corp.	\$0.00
21A Fire Protection	Johnson Controls Fire Protection LP	\$0.00
22A Plumbing Enabling	Patrick J. Kennedy & Sons, Inc.	\$0.00
23A HVAC	Patrick J. Kennedy & Sons, Inc.	\$0.00
26A Electrical	Wayne J Griffin Electric, Inc.	\$0.00
Bond (included in above cost)		
Trade Contractor Total		\$10,902.00

Subcontractor/Trade Contractor Total	-	\$16,910.00
General Conditions		\$0.00
CM Bond	0.600%	\$101.00
Total CCIP	2.750%	\$481.00
Fee	5.00%	\$874.00
TOTAL		\$18,366.00

Pavilion Floors Inc.

PROJECT NAME

Brookline Michael Driscoll

PROJECT NO.

CONSTR. MGR

Gilbane Building Company

COR NUMBER

PR-30

COR DATE

7/15/2022

COR DESCRIPTION

OS-144 / PR-30 Toilet Modify

FORMAT FOR SUBMISSION OF CHANGE ORDER REQUEST**WORK OF SUBCONTRACTOR**

NAME OF FIRM SUBMITTING CHANGE ORDER

Pavilion Floors Inc.

1. DIRECT LABOR: SUBCONTRACTOR:

Use only Prevailing Wage Rates or Approved "Other" Wages and Rates

Allowable Excess fringes are those fringes required to be paid per union contract which exceed the contract prevailing wage and have been approved.

Please provide separate LS price on Subcontractor Company Letterhead

Trade	Classification	Total Hrs. <u>Worked</u>		These values shall be taken from the Rate Approval Sheet, after its approval.				Total Direct Labor Cost (Less Fringes)
				Wage Rate	Exceeds Fringes per Hour	Total Cost for Base Wages (subject to ins/taxes)	Total Cost for Approved Excess Fringes	
Local 3	Mechanic Deduct	(712.00)		\$ 131.59	\$ -	\$ (93,692.08)	\$ -	\$ (93,692.08)
Local 4	Mechanic Add	896.00		\$ 131.59	\$ -	\$ 117,904.64	\$ -	\$ 117,904.64
						\$ -	\$ -	\$ -
						\$ -	\$ -	\$ -
						\$ -	\$ -	\$ -
						\$ -	\$ -	\$ -
TOTAL BASE, EXCESS AND DIRECT LABOR COSTS						\$ 24,212.56	\$ -	\$ 24,212.56

2. MATERIALS: SUBCONTRACTOR: (For extensive material lists, attach detailed backup and enter as a lump sum below)

Material Description		Qty	Unit	Cost Per Unit	Total
WT1	DEDUCT: Daltile Retro Rounds	(1.00)	Unit	\$ 83,354.00	\$ (83,354.00)
WT1	Add A.O. Color Story 2"x 8" 0061	1.00	Unit	\$ 63,250.00	\$ 63,250.00
WT2A	AO Color Story 1x3 010 Scarlet	1.00	Unit	\$ 1,773.00	\$ 1,773.00
WT2B	AO color Story 1x3 0075 Lemon Zest	1.00	Unit	\$ 949.00	\$ 949.00
WT2C	AO color Story 1x3 0076 Green Apple	1.00	Unit	\$ 1,773.00	\$ 1,773.00
WT2D	AO Color Story 1x3 0076 Green Apple	1.00	Unit	\$ 1,300.00	\$ 1,300.00


 Floor 4 = Sapphire Blue
TOTAL MATERIALS COST: \$ (14,309.00)

3.C.

Pavilion Floors Inc.

PROJECT NAME

Brookline Michael Driscoll

PROJECT NO.

CONSTR. MGR

Gilbane Building Company

COR NUMBER

PR-30

COR DATE

7/15/2022

COR DESCRIPTION

OS-144 / PR-30 Toilet Modify

FORMAT FOR SUBMISSION OF CHANGE ORDER REQUEST**WORK OF SUBCONTRACTOR**

NAME OF FIRM SUBMITTING CHANGE ORDER

Pavilion Floors Inc.

3. EQUIPMENT: SUBCONTRACTOR: (For extensive equipment lists, attached detailed backup and enter as a lump sum below)

Equipment Description	Qty	Unit	Cost Per Unit	Total
				\$ -
				\$ -
				\$ -
				\$ -
				\$ -
				\$ -

TOTAL EQUIPMENT COST: \$ -**4. SUB TOTAL SUBCONTRACTOR DIRECT COST FOR ITEMS 1., 2. & 3.:****SUB TOTAL:** \$ 9,903.56**5. MISC. LUMP SUM SERVICES PROVIDED TO SUBCONTRACTOR (POLICE DETAIL, UTILITIES, ETC.):**

Description of Miscellaneous Lump Sum Service - attach backup	Total
	\$ -
	\$ -
	\$ -
	\$ -
	\$ -
	\$ -

TOTAL MISC. LUMP SUM SERVICES COST: \$ -

Pavilion Floors Inc.

PROJECT NAME

Brookline Michael Driscoll

PROJECT NO.

CONSTR. MGR

Gilbane Building Company

COR NUMBER

PR-30

COR DATE

7/15/2022

COR DESCRIPTION

OS-144 / PR-30 Toilet Modify

FORMAT FOR SUBMISSION OF CHANGE ORDER REQUEST**WORK OF SUBCONTRACTOR**

NAME OF FIRM SUBMITTING CHANGE ORDER

Pavilion Floors Inc.

6. SUB ALLOWED 5% O&P Mark Up - MISC. LUMP SUM SERVICES:**5.00%**

\$ -

7. SUB TOTAL SUBCONTRACTOR LINE ITEMS 4., 5. & 6.:**SUB TOTAL:**

\$ 9,903.56

8. INSURANCE AND TAXES ON SUBCONTRACTOR BASE LABOR ONLY:

Total Base Wages Subject to Insurance and Taxes from Item 1 above (If zero, use total direct labor cost)

\$ 24,212.56

Insurance & Taxes Rate (30% unless a higher rate has been formally approved by DCAM)

0.00%**TOTAL COST INSURANCE AND TAXES**

\$ -

9. OTHER APPROVED SUBCONTRACTOR DIRECT LABOR EXCESS FRINGE BENEFITS:

(i.e.: Apprentice Training, Education Fund, Legal, Travel, ETC.) --> excess fringes from Item 1 above

TOTAL EXCESS FRINGE BENEFITS:

\$ -

10. OVERHEAD AND PROFIT OF SUBCONTRACTOR:

Subcontractor can charge 15% of actual total cost of Item 4. For a net CREDIT change order amount, use 0%

10.00%

x ITEM 4:

\$ 990.36

11. TOTAL OF ITEMS 7., 8. (A. or B.), 9. and 10.**TOTAL COST OF WORK PERFORMED BY SUBCONTRACTOR:**

\$ 10,893.92

11a. SUBCONTRACTOR PREMIUM FOR BOND

Required for CM trade subcontractors

Percentage of approved bond x item 11.

1.00%

x ITEM 11:

\$ 108.94

12. TOTAL COST OF WORK PERFORMED BY SUBCONTRACTOR, including bond cost

Enter the Value of Item 12 on the Summary Sheet

\$11,002.86

NOTES:

3.C.

Pavilion Floors Inc.

PROJECT NAME

Brookline Michael Driscoll

PROJECT NO.

CONSTR. MGR

Gilbane Building Company

PR-30

COR NUMBER

COR DESCRIPTION

OS-144 / PR-30 Toilet Modify

COR DATE

7/15/2022

FORMAT FOR SUBMISSION OF CHANGE ORDER REQUEST

WORK OF SUBCONTRACTOR

NAME OF FIRM SUBMITTING CHANGE ORDER

Pavilion Floors Inc.



Phone (508) 238-6985
Fax (508) 238-2191

CENTRAL®
SPECIALTY CONTRACTING YOU CAN BUILD ON

PROPOSAL #: **388600 - 26**

Date: August 25, 2022

To:
Gilbane Building Company
10 Channel Center St., Suite 100
Boston, MA 02210

Phone: 617-960-2956

Project: Driscoll School
64 Westbourne Terrace
Brookline, MA 02446

Central Job # 388600 -

GC Job # J08864.000

GC Reference:

Change Request Reference

Reference: PCI # OS-144

Ticket: Addenda # PR-30

Date:

Work Description: Added tile locations

Attn:

Central Ceilings, Inc. will perform the following work in accordance with PCI # OS-144 Addenda #PR-30 Added tile locations for the above referenced project.

Scope of Work:

Supervision & Coordination

Added tile locations at toilet rooms, additional material & labor to install Tile backer board.

Install Added AP per elevations Qty-4.

*Excludes toilet room's at Floor 0 See A463 & A464

Material:

-320 SF 5/8" Drywall Type X

320 sf 1/2" Tilebacker 4 x 8

(\$183.60)

\$595.00

Subtotal:

\$411.40

OH&P

10%

\$41.14

Labor:

Carpenter Foreman

Straight Time

1.00

hours @

\$116.02

=

\$116.02

Carpenter Journeyman

Straight Time

16.00

hours @

\$115.53

=

\$1,848.48

Straight Time

-4.00

hours @

\$115.53

=

(\$462.12)

Taper Journeyman

Straight Time

-4.00

hours @

\$112.91

=

(\$451.64)

Subtotal:

\$1,050.74

Miscellaneous Job Cost:

Install AP (Furnish B.O)

\$1,000.00

Subtotal:

\$1,000.00

OH&P

10%

\$100.00

GRAND TOTAL:

\$2,603.00

Thank you for the opportunity to price this additional work. Price is valid for thirty days. Signed Central Ceilings, Inc. Change Order Requests and/or Proposals are legal tender to bill against on the next requisition period. The construction schedule shall be subject to material availability. Please call if you need additional pricing or to review the scope of work in further detail.

Sincerely,

Acceptance:

Central Ceilings, Inc.

Gilbane Building Company

**Request for Quotation
(RFQ)**

Project Name: Brookline - Driscoll
School
Gilbane Project No.: J08864.000

PCI: OS-00144

Due Date: 07/13/2022

Attention: Chris King
To: Kapiloff's Glass, Inc.
5 Hoosac Street

Date Issued: 7/6/2022 4:07:36 PM

Adams
MA
01220

Contract: J08864.000-0016

PCI Subject: PR #30 Toilet Room Modifications- Pavilion- Toilet Room Tile
Scope:

Please review the attached PR #30 toilet room modifications dated 7/5/2022. Please advise if there is an cost impact.
Attachments:

Number	Title	Change Date	Revision
COR#1	Credit	8-25-2022	

☒ Do Not Proceed, submit quotation only ☐ Submittal(s) required ☐ Proceed with the work & submit quotation

Return this request with your quotation noted below and attach all detailed documentation for the change outlined above. Your quotation will not be considered valid unless detailed documentation is included. Failure to comply will result in payment delays.

Section to be Completed by the Trade Contractor

☐ No Change to contract price or schedule

The following pricing is for the changes outlined above. Zero (\$0) dollars have been entered for changes that have no cost impact.

Job	Phase Code	Description	Quoted Amount	Diversity Participation
J08864.000	01.08B.080000.E	Glass and Glazing	\$	
			\$ 0	

This change increases/(decreases) our Disadvantaged Business Enterprise participation by the below amounts which are included in the above quotation:

Phase Code	Company	(Minority) MBE	(Women) WBE	(Small) SBE	Other	Disadvantaged DBE
01.08B.080000.E	Kapiloff's Glass, Inc.	%	%	%	%	%

The above changes will necessitate additional days extension of the original contract completion date by



5 Hoosac Street
Adams, MA 01220

T: 844-527-4527 F: 844-634-5277

CHANGE ORDER REQUEST

KGI C.O.R. # 1

Date: August 25, 2022

To: Linda Rosenberg
Gilbane Building Company
10 Channel Center Street, Suite
100

From: Chris Kingsbury

Via: email

Reference : Michael Driscoll School

Scope Description: Credit PR # 30

Scope Cost: Credit 100.00

Details: Credit for shortening a mirror 6" Less then plans
Per Peter Kapiloff

CR 100.00

Subtotal	\$	-
10% OH&P	\$	-
Additional Bond (1.5%)	\$	-
Total	\$	100.00

Work will be done upon issuance of Change Order to our Chapter 149 Subcontract.

Approval:

Signed

Date

Signatures

Gilbane Building Company

<p align="center">Gilbane Building Company</p> <p>Signed: 7/6/2022 4:07:36 PM Eastern Standard Time - By: Colleen Shouldice, (Senior Project Engineer)</p> <p>Gilbane Building Company: 10.20.1.96</p>

Kapiloff's Glass, Inc.

By:	<u>Chris Kingsbury</u>
Title:	<u>Project Manager</u>
Company:	<u>Kapiloff's Glass</u>
Date:	<u>8-25-2022</u>
Printed Name:	<u>Chris Kingsbury</u>

**Request for Quotation
(RFQ)**

Project Name: Brookline - Driscoll
School
Gilbane Project No.: J08864.000

PCI: OS-00144

Due Date: 07/13/2022

Attention: Stephan Ro
To: Polybois Inc
739 Rue Monfette

Date Issued: 7/6/2022 4:00:57 PM

Thetford Mines
QC
G6G 7K7

Contract: J08864.000-0037

PCI Subject: PR #30 Toilet Room Modifications- Pavilion- Toilet Room Tile
Scope:

Please review the attached PR #30 toilet room modifications dated 7/5/2022. Please advise if there is an cost impact.

Attachments:

Number	Title	Change Date	Revision
--------	-------	-------------	----------

☒ Do Not Proceed, submit quotation only

☐ Submittal(s) required

☐ Proceed with the work & submit quotation

Return this request with your quotation noted below and attach all detailed documentation for the change outlined above. Your quotation will not be considered valid unless detailed documentation is included. Failure to comply will result in payment delays.

Section to be Completed by the Trade Contractor

☐ No Change to contract price or schedule

The following pricing is for the changes outlined above. Zero (\$0) dollars have been entered for changes that have no cost impact.

Job	Phase Code	Description	Quoted Amount	Diversity Participation
J08864.000	01.06A.053000.X	Millwork	\$.. 3 333,84\$	

\$ 0

This change increases/(decreases) our Disadvantaged Business Enterprise participation by the below amounts which are included in the above quotation:

Phase Code	Company	(Minority) MBE	(Women) WBE	(Small) SBE	Other	Disadvantaged DBE
01.06A.053000.X	Polybois Inc	0 %	0 %	0 %	0 %	0 %

The above changes will necessitate additional days extension of the original contract completion date by

3.C.

..... days

Note that any days extension requested will require substantiating documentation to support the request for time including demonstration of the direct impact to the critical path. If left blank, no additional time extensions will be accepted.

Upload Your Supporting Documentation Here



POLYBOIS INC.

MENUISERIE ARCHITECTURALE / ARCHITECTURAL MILLWORK

Tel.: (418) 338-4638 / 1-800-463-6322 / Fax: (418) 338-8059

Internet: <http://www.polybois.ca> / E-mail: luc.m@polybois.ca

TO: William Heiberger
Gilbane Building Company

401 - 640 - 4336

DATE:	2022-07-06
PROJET:	Brookline Michael Driscoll School
CONTRAT #:	C-1987
CLIENT REF :	PR #30
POLYBOIS REF:	P-3

MODIFICATION

Add - 4" Backsplash at bathroom vanites (11 elevations) . Rooms 0814, 0816, 0820, 0830, 1220, 1228, 2229, 3210, 3228, 4210, 4228 : REF: 5/A602
- Material: Dupont Corian - Designer White 1/2".

Material		1 317,23 \$	
Fabrication	7,38 78\$/h	575,52 \$	
Shipping		151,42 \$	
Installation	7,12 120\$/h	854,82 \$	
O.H.P.:15%		434,85 \$	
Bond/QCP	0%	0,00 \$	
			<u>3 333,84 \$</u>

TOTAL USD\$

3 333,84 \$

ADD 0 days to schedule

APPROVED & AUTHORIZED BY:

BY:

POLYBOIS INC.

NAME AND TITLE

Luc McCutcheon, eng.
President, General Manager

luc.m@polybois.ca

DATE

Licence RBQ: 1208-3739-90

Signatures

Gilbane Building Company

Gilbane Building Company
Signed: 7/6/2022 4:00:57 PM Eastern Standard Time - By: Colleen Shouldice, (Senior Project Engineer)
Gilbane Building Company: 10.20.1.96

Polybois Inc

By:	STEPHAN ROY
Title:	PROJECT DIRECTOR
Company:	POLYBOIS
Date:	2022-07-06
Printed Name:	<i>Stephan Roy</i>



PROPOSAL REQUEST

To: Lynda Callahan

Project Name: Driscoll School

Project No.: 1823

Date of Issuance: July 5, 2022

Proposal Request No.: 030

Re: Toilet Room Modifications

DESCRIPTION:

Make the following changes to the Toilet and Locker Rooms as shown in the attached sketches and described below and provide a separate cost for each.

1. Toilet Room Modifications:

- Substitute American Olean's 2 x 8 Color Story Wall (Glazed Ceramic) & 1 x 3 Color Story Mosaics for the Daltile Retro Rounds wall tile and install per the attached sketches. The typical field color in all locations shall be Matte Designer White 0061(1). Accent colors shall be Scarlet 0010(3) for Floors 0 & 1 (red); Lemon Zest 0075(3) for Floor 2 (yellow); Green Apple 0076(3) for Floor 3 (green); Sapphire Sky 0070(3) for Floor 4 (blue).
- Provide a solid surface backsplash at all toilet room sink with solid surface counters and reduce mirror height as indicated in 5/A602.

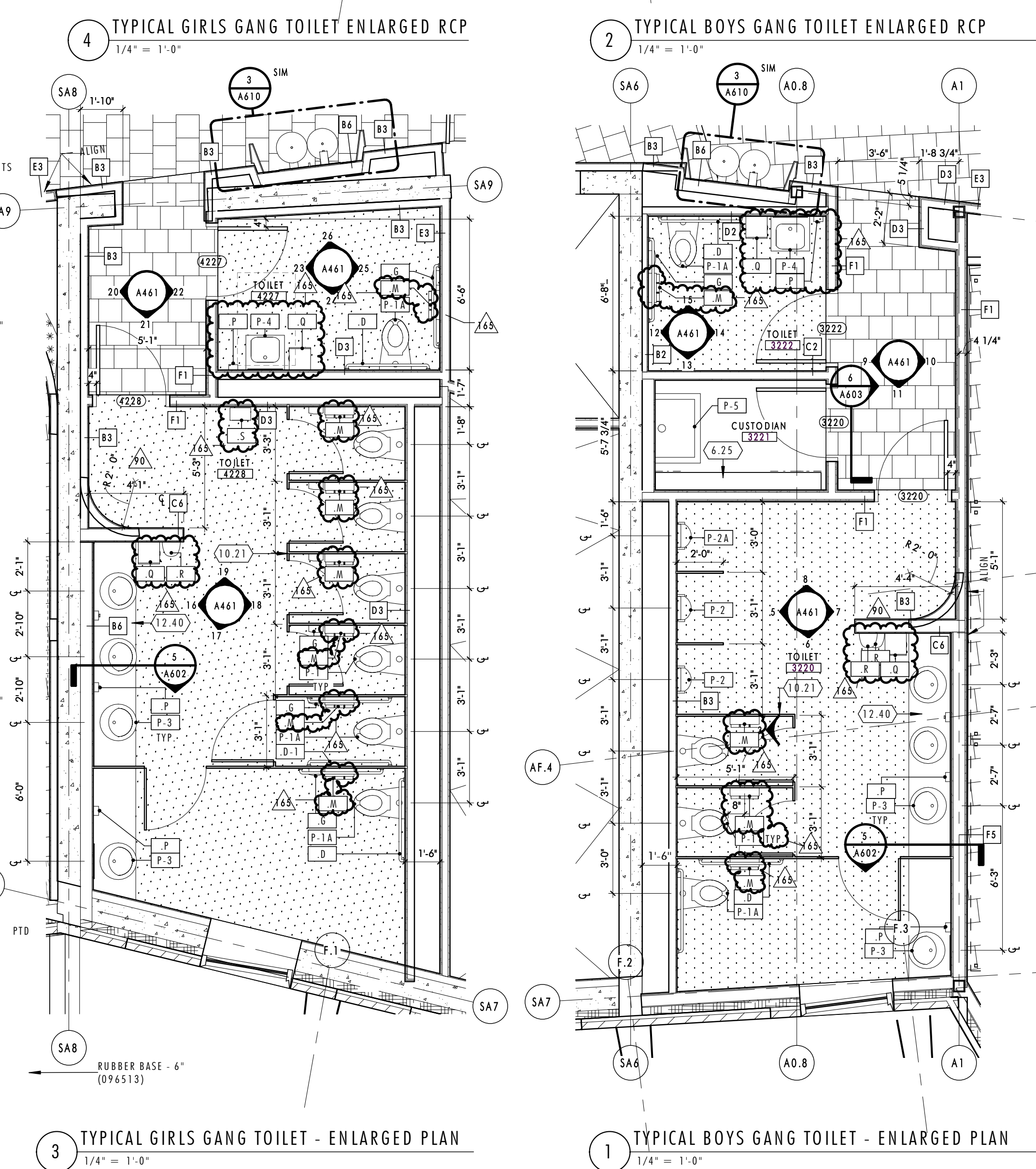
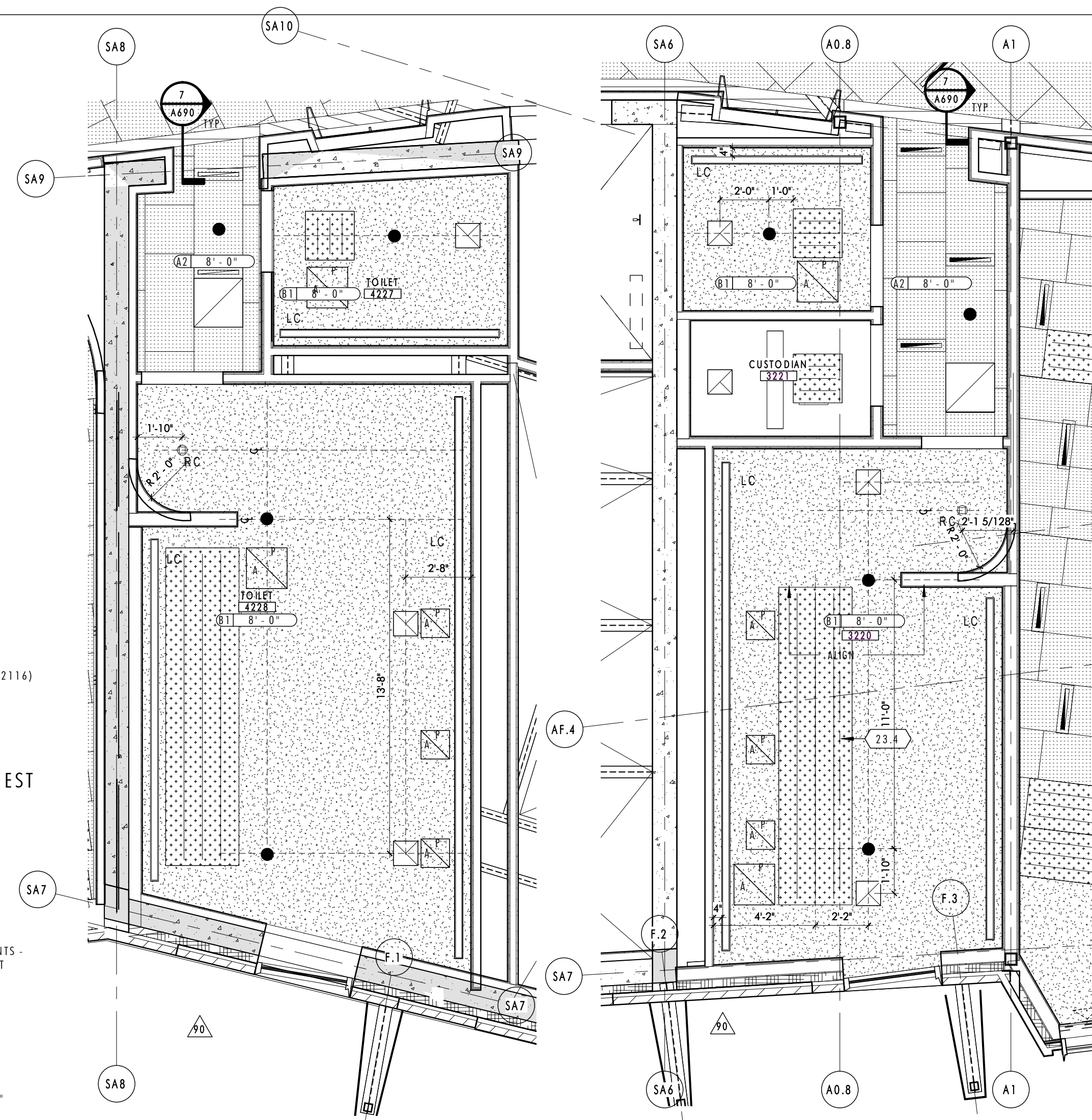
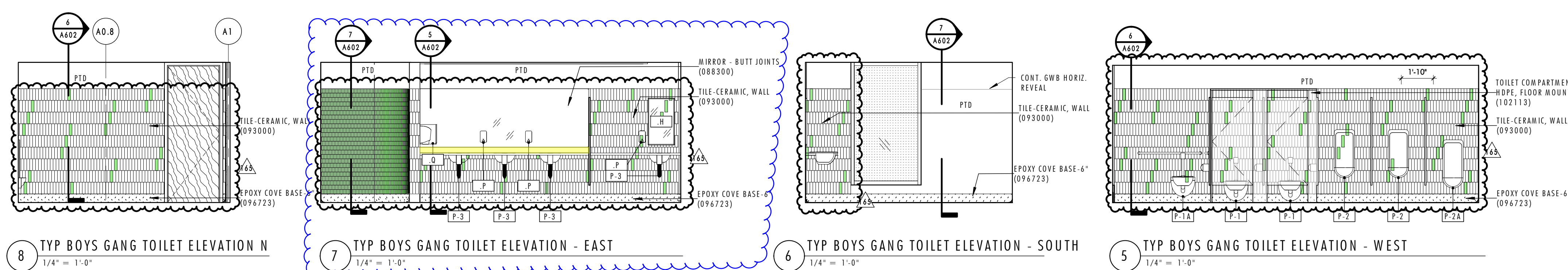
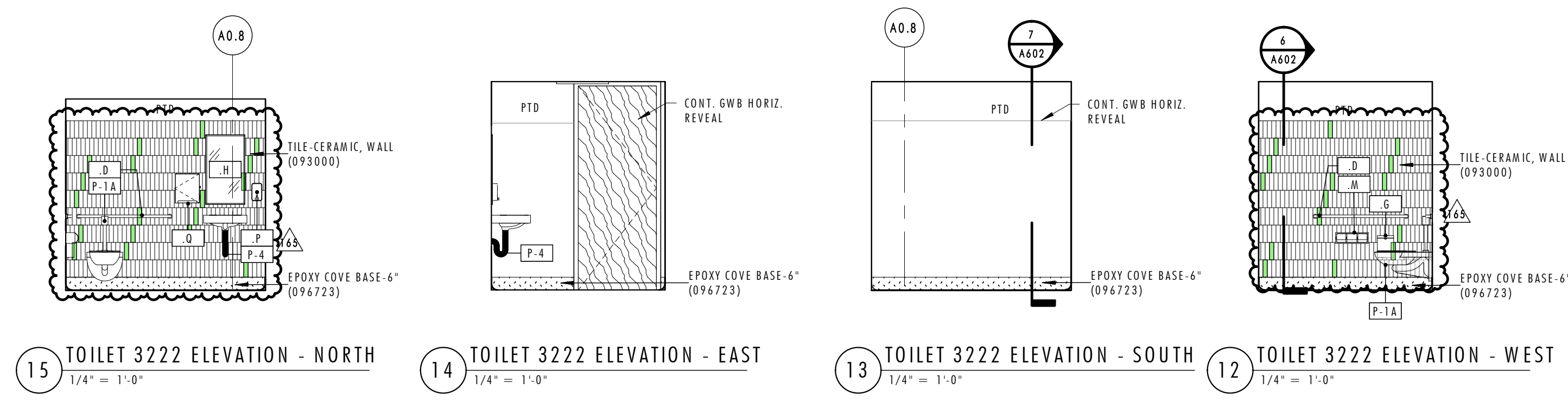
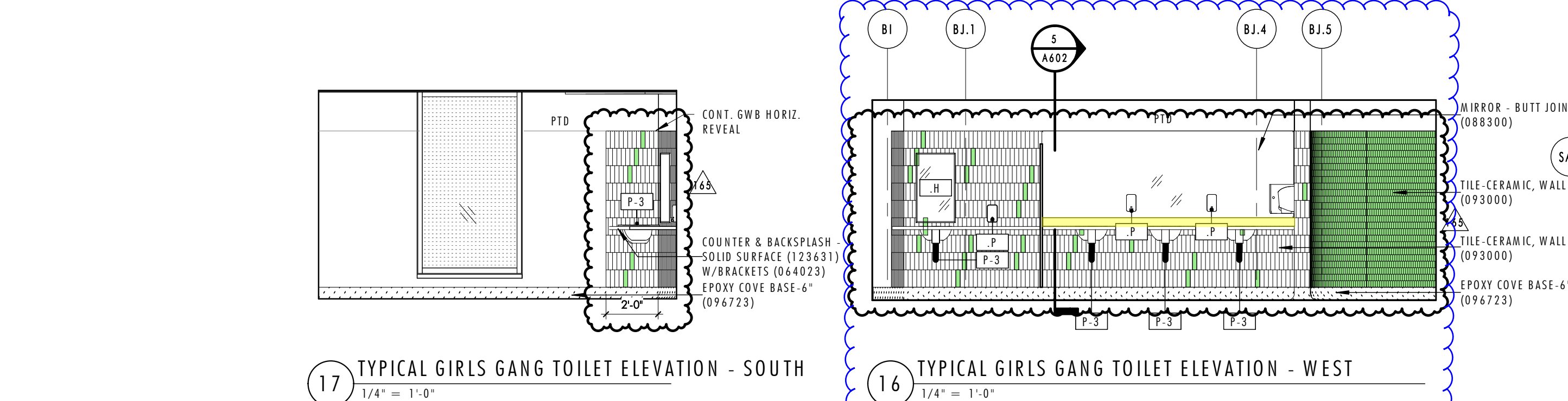
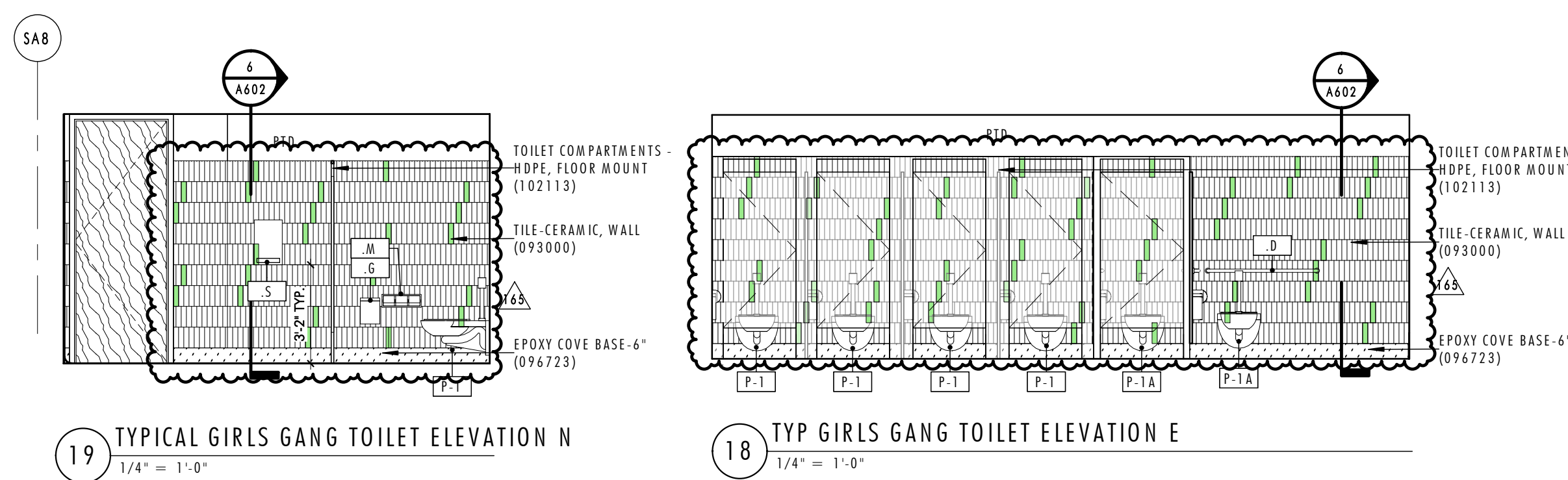
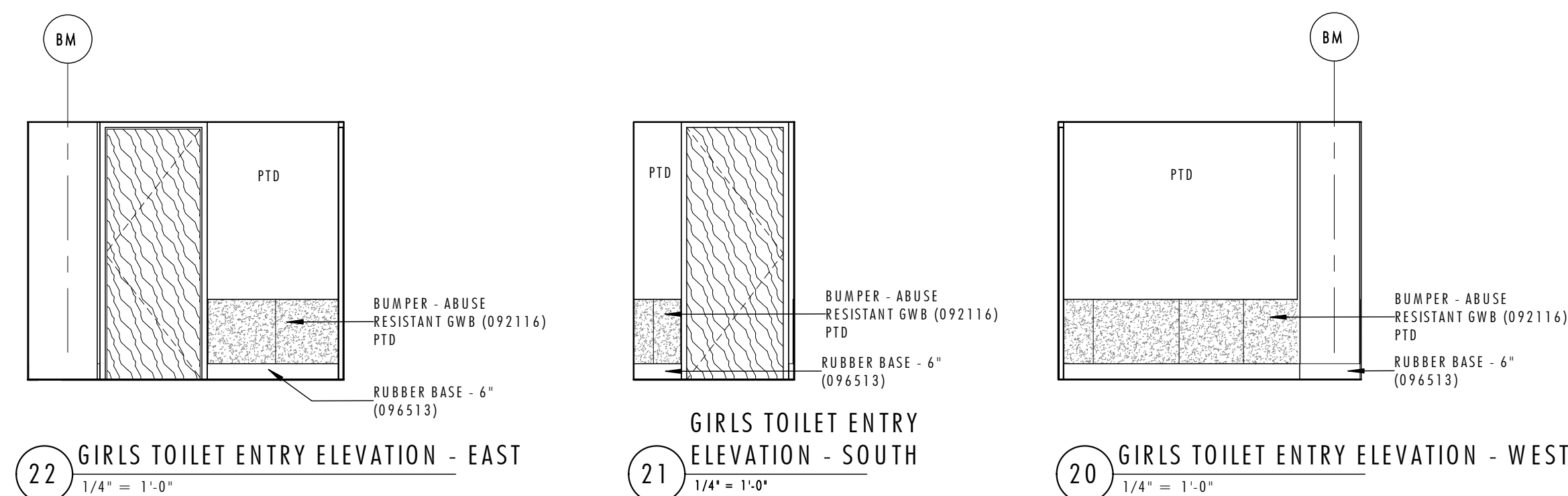
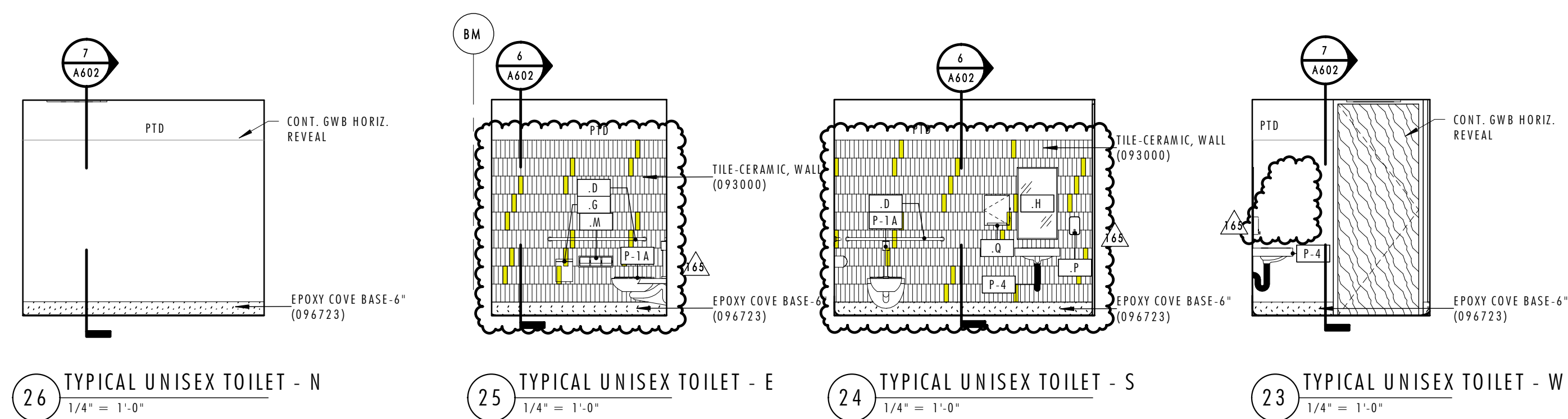
2. Toilet Accessories Modifications:

- Paper Towel Dispensers: Substitute a wall mounted paper towel dispenser for the recessed model specified as shown in the attached sketches. Paper towel dispenser to be San Jamar Integra Lever Roll Towel T850BK.
- Sanitary Products Dispensers: Install Sanitary products dispensers in all women's toilet rooms where shown in the attached sketches. Unit to be Evogen EV2, Pad/Tampon Dispenser.
- Toilet Paper Dispensers: Substitute 3-roll toilet paper dispensers for the two-roll units specified. Toilet paper dispensers shall be Royce Rolls Stainless Steel Standard Triple (Three-Roll) Toilet Paper Holder Dispenser - #TP-3 with #TP-Clip
- Soap Dispensers: Soap dispensers shall be provided and installed by the Owner.

ATTACHMENTS:

- A460 Enlarged Plans, RCP Interior Elevations - Toilets
- A461 Enlarged Plans, RCP Interior Elevations – Toilets
- A462 Enlarged Plans, RCP Interior Elevations – Toilets FL1
- A463 Enlarged Plans, RCP Interior Elevations – FLO Toilets and Staff Shower
- A464 Enlarged Plans, RCP Interior Elevations – Locker Rooms
- A465 Enlarged Plans, RCP Interior Elevations – Health Office and Locker
- A602 Interior Wall Sections

Please submit an itemized quotation for the changes in the Contract Sum and/or Contract Time incidental to potential modifications to the Contract Documents described herein. This is not a change order nor a direction to proceed with the work described herein. The additions, deletions, or modifications described herewith are for information only. Changes to the contract will be accomplished by Change Order or Construction Change Directive.



MATERIALS

TYPICAL CLASSROOM FINISHES

SEE A001 FOR A FULL FINISH LEGEND.

WALL	FINISH
AP	FABRIC WRAPPED
CT	ACoustic PANEL
CWP	CERAMIC TILE - WALL (093000)
GL	GLAZING (088000)
GL	GLAZING - LAM W/ GRADUATED PATTERN (088000)
NW	MAGNETIC/WRITABLE - WALL COVERING (101100)
PTD	PAINTED (091100)
PLAM	PLASTIC LAMINATE
TS	SOLID EPOXY (064013)
WD	TACKABLE SURFACE - WALL COVERING (064013)
WP	WRITABLE WALL PAINT (091100)
BASE	FINISH
EP	EPOXY FLOORING
QT	QUARRY TILE COVE (093000)
RB	RUBBER BASE - COVE
VB	VENTED RUBBER BASE

FLOOR	FINISH
CPT	CARPET
EP	EPOXY FLOORING
GR	RECESSED GRILLE WITH PAN
PC	POWER TROWELED CONCRETE
PP	PEDESTAL PAVERS
QT	QUARRY TILE (093000)
SC	SEALED CONCRETE
VET	VCT
WD	WOOD ATHLETIC FLOORING
WF	WOOD FLOORING - STAGE HARDWOOD

CEILING TYPE

LEGEND

A1	ACOUSTICAL PANEL CEILING (095113)
A2	ACOUSTICAL PANEL CEILING (095113)
A3	GEOMETRIC ACOUSTICAL CEILING TILE (095113)
A4	ACOUSTICAL PANEL CEILING (095113) SLOPED
A5	ACOUSTICAL PANEL CEILING (095113)
A6	GYPSUM WALL BOARD
B1	GYPSUM WALL BOARD - 1HR
B2	GYPSUM WALL BOARD - 2 HR
B3	RESILIENT GYPSUM WALL BOARD
B4	SEE DETAIL (SEE 3/A490)
B5	GYPSUM WALL BOARD - 3 HR PLENUM
C1	WOOD GRAIN PLAM
C2	PERF WD GRAIN PLAM
D1	PTD EXPOSED DECK
D2	EXPOSED DECK
E1	DIRECT APPLIED FINISH (EXTERIOR SCHEDULE)
T1	TECTUM PANELS (098433) ON DRYWALL SUSPENSION SYSTEM (092116)

KEYNOTE LEGEND

6.10	BUMPER - ABUSE RESISTANT GWB (092116) PTD
6.25	HEAVY DUTY STANDARDS WITH (4) ADJ SHELVES - MELAMINE (064023)
8.81	MIRROR - BUTT JOINTS (088300)
9.30	TILE-CERAMIC, WALL (093000)
9.56	RUBBER BASE - 6" (096513)
9.60	EPOXY COVE BASE-6" (096723)
10.21	TOILET COMPARTMENTS - HOPE, FLOOR MOUNT (102113)
12.40	COUNTER & BACKSPLASH - SOLID SURFACE (123631) W/BRAKETS (064023)
23.4	RADIANT PANEL-INSET - SEE MECH.

PLUMBING FIXTURES

P-1	WATER CLOSET
P-1A	WATER CLOSET, ACCESSIBLE
P-1B	WATER CLOSET, PRE-K ACCESSIBLE
P-2	URINAL
P-2A	URINAL, ACCESSIBLE
P-3	COUNTER TOP INTEGRAL SINK WITH SOLID SURFACE COUNTER
P-4	SINK, WALL MOUNT
P-5	MOP RECEPTOR
P-5A	HIGH/LOW DRINKING FOUNTAIN WITH BOTTLE FILLER
P-6	SHOWER UNIT
P-7	SINK - CLASSROOM, COUNTER MOUNTED - ACCESSIBLE
P-8	SINK - MAKERSPACE, COUNTER MOUNTED - POI SINK
P-9	SINK - MAKERSPACE, COUNTER MOUNTED - ACCESSIBLE
P-9A	SINK - MAKERSPACE, COUNTER MOUNTED - ACCESSIBLE
P-10	SINK - ART, UNDERMOUNT, PROVIDE BLOCKING
P-11	SINK - ART, UNDERMOUNT, PROVIDE BLOCKING
P-11A	SINK - ART, UNDERMOUNT, PROVIDE BLOCKING
P-12	EMERGENCY SHOWER & EYEWASH
P-13	SINK - SCIENCE
P-13A	SINK - SCIENCE, ACCESSIBLE
P-14	SINK - SCIENCE, PREP, EYEWASH
P-15	SINK - KITCHEN, DROP IN - ADA
P-16	SINK - KITCHEN, DROP IN - ADA
P-17	SINK - KITCHEN, DROP IN - ADA

TOILET ACCESSORIES

D	GRAB BAR
B	GRAB BAR
G	SURFACE MT SANITARY NAPKIN DISPOSAL, PROVIDE BLOCKING
H	MIRROR - WALL MOUNTED, PROVIDE BLOCKING
M	TOILET PAPER DISPENSER
P	TOILET PAPER DISPENSER - WALL MOUNT
P-15A	SINK - SCIENCE, ACCESSIBLE
P-16	SINK - SCIENCE, PREP, EYEWASH
P-17	SINK - KITCHEN, DROP IN - ADA

GENERAL NOTES

ENLARGED PLANS, RCP, ELEVATIONS

1. DOWELING AND PARTY WALL PARTITION TYPES VARY PER ROOM, SEE 1/8" SCALE PLANS.
2. REF TO 1/8" RCP DWGS FOR GENERAL RCP GENERAL NOTES AND MATERIALS.
3. CLASSROOM AND SCIENCE SPACES TYPICALLY IN PAIRS, ENLARGED PLANS AND RCP'S SHOW ONE OF THE PAIR, THE OTHER IS D.H.
4. REFERENCE 1/8" SCALE PLANS FOR VARIATIONS TO TYPICALS.
5. SEE ELEVATION 2/A066 FOR TYPICAL GWB REVEAL AND PATTERN IN CORRIDORS.
6. COUNTERTOPS TO INCLUDE CONCEALED SUPPORT BRACKETS (064023) 3'-4" O.C. TYP.



DRISCOLL SCHOOL

PROJECT STATUS

CONTRACT DOCUMENTS

4/16/21

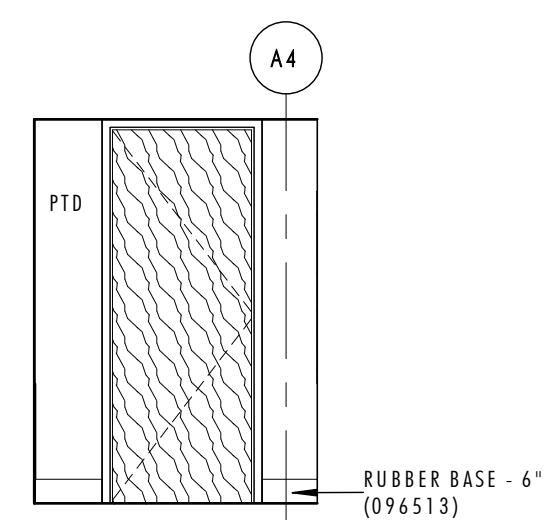
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90	01/26/22	ASB-024
165	07/05/22	PR-030

DRAWING NAME
ENLARGED PLANS,
RCP, INTERIOR
ELEVATIONS -
TOILETS

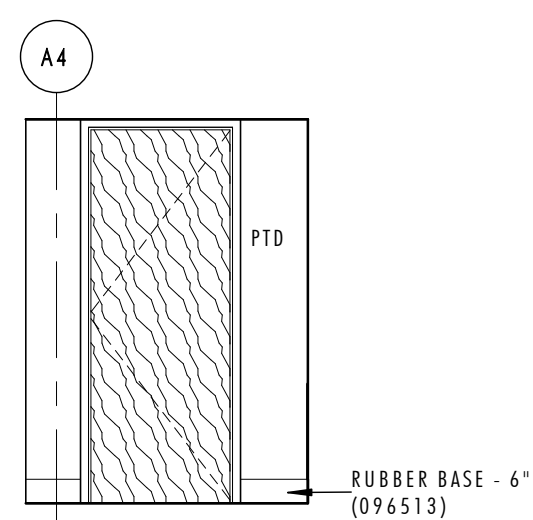
PROJECT NO. 1823

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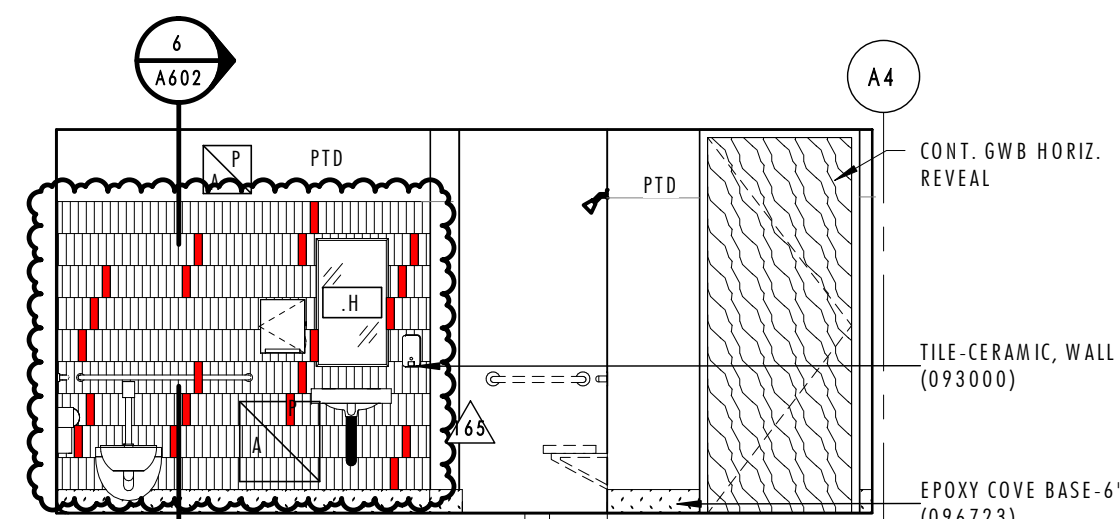
A461



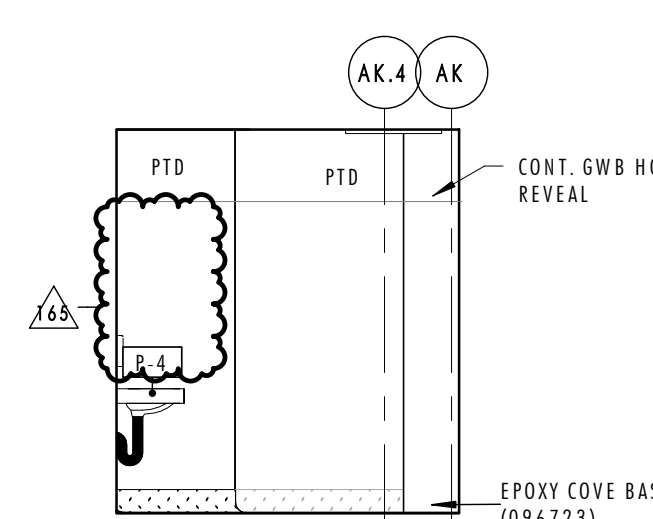
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1/4" = 1'-0"



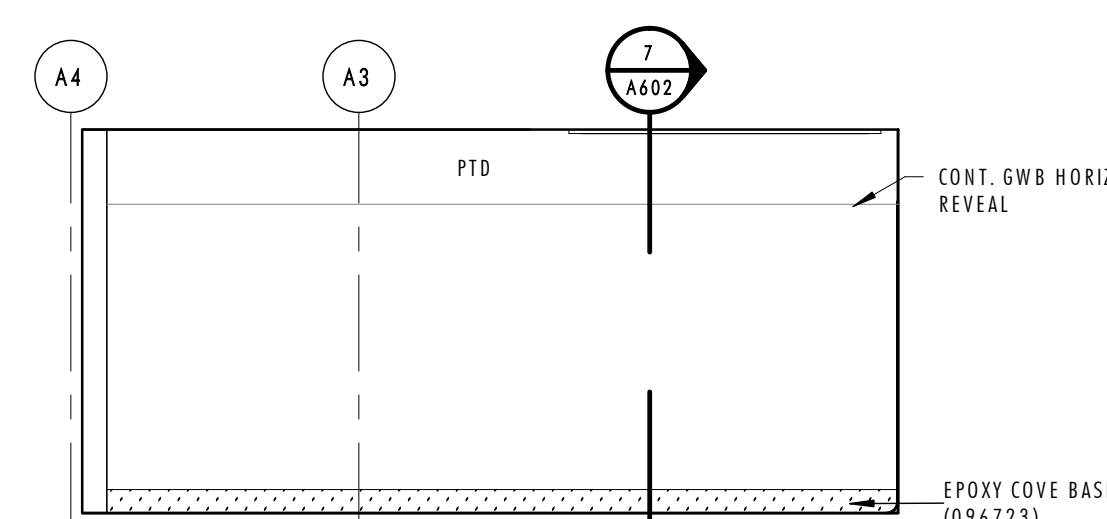
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1/4" = 1'-0"



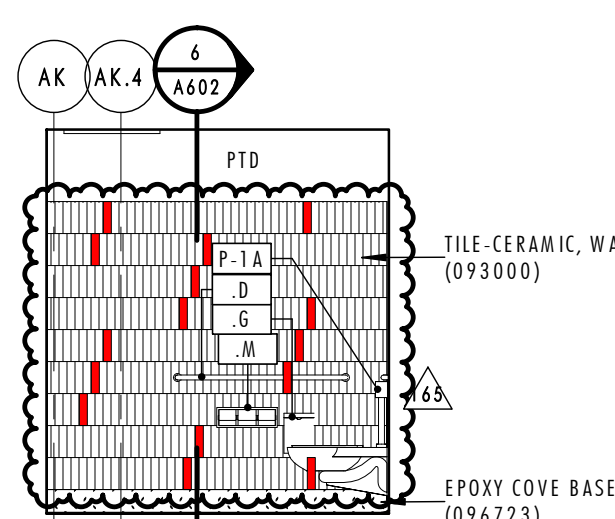
18 STAFF SHOWER ELEVATION - NORTH
1/4" = 1'-0"



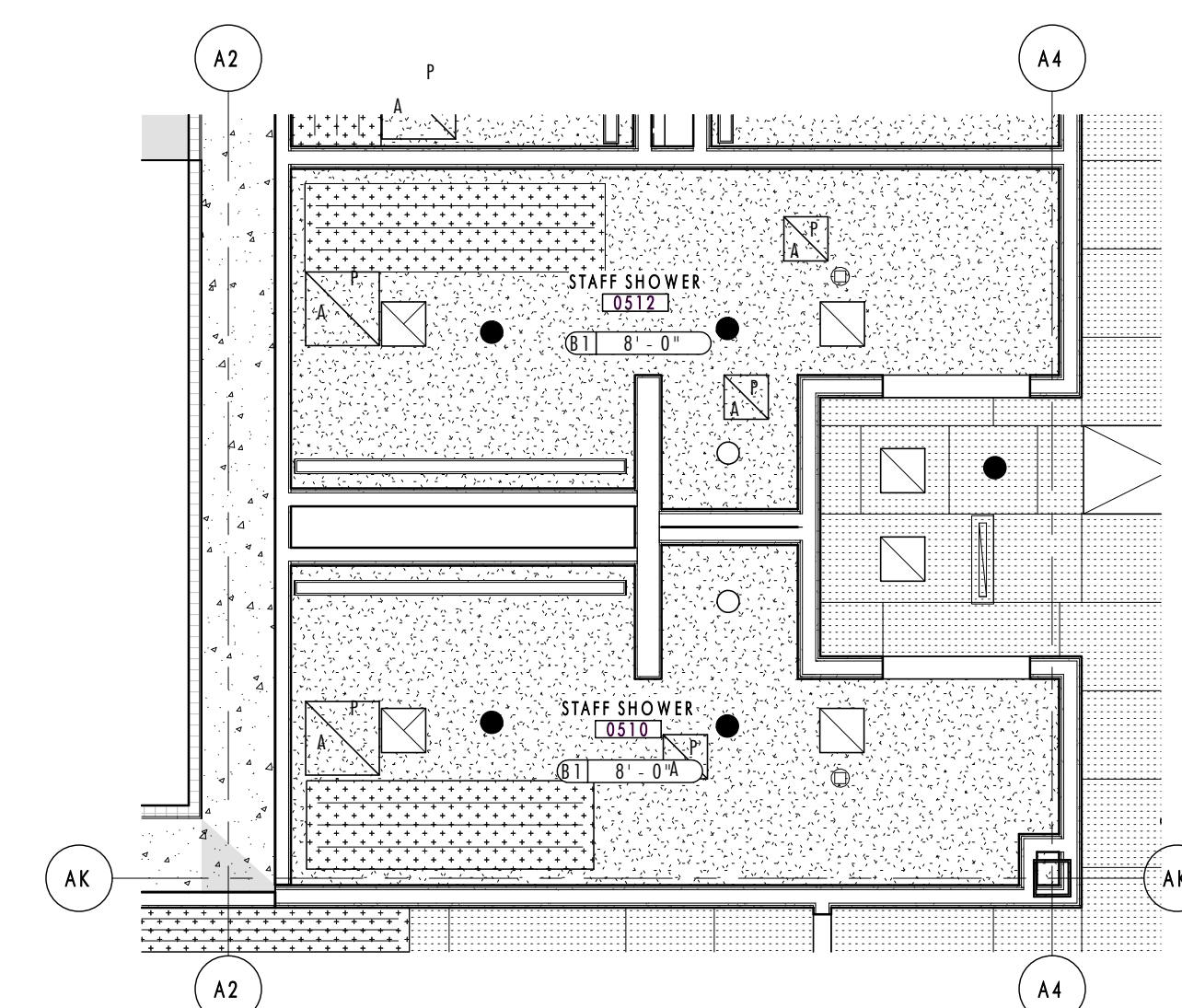
17 STAFF SHOWER ELEVATION - EAST
1/4" = 1'-0"



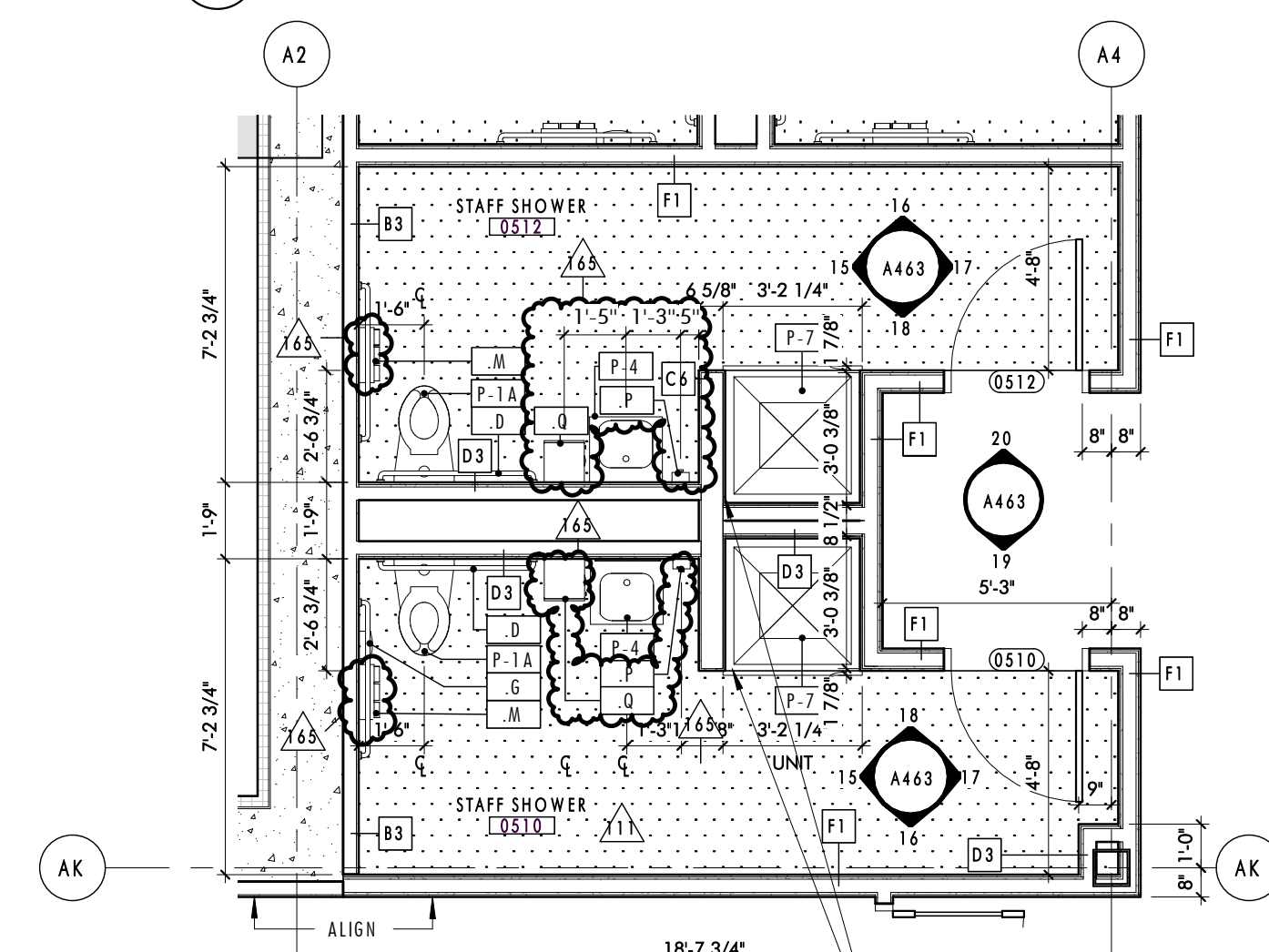
16 STAFF SHOWER ELEVATION - SOUTH
1/4" = 1'-0"



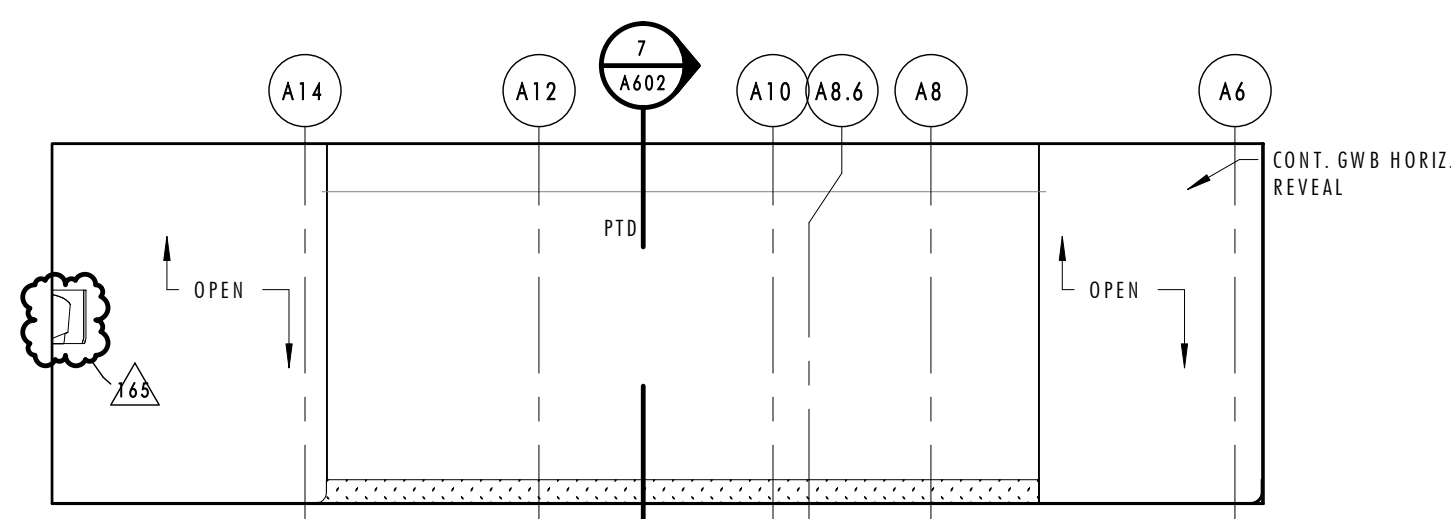
15 STAFF SHOWER ELEVATION - WEST
1/4" = 1'-0"



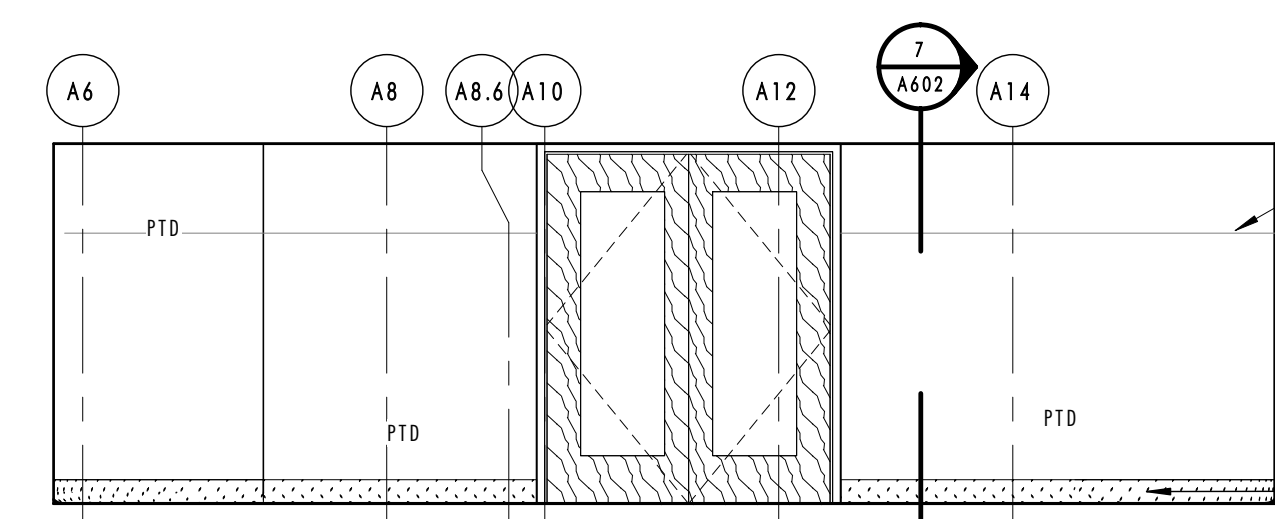
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1/4" = 1'-0"



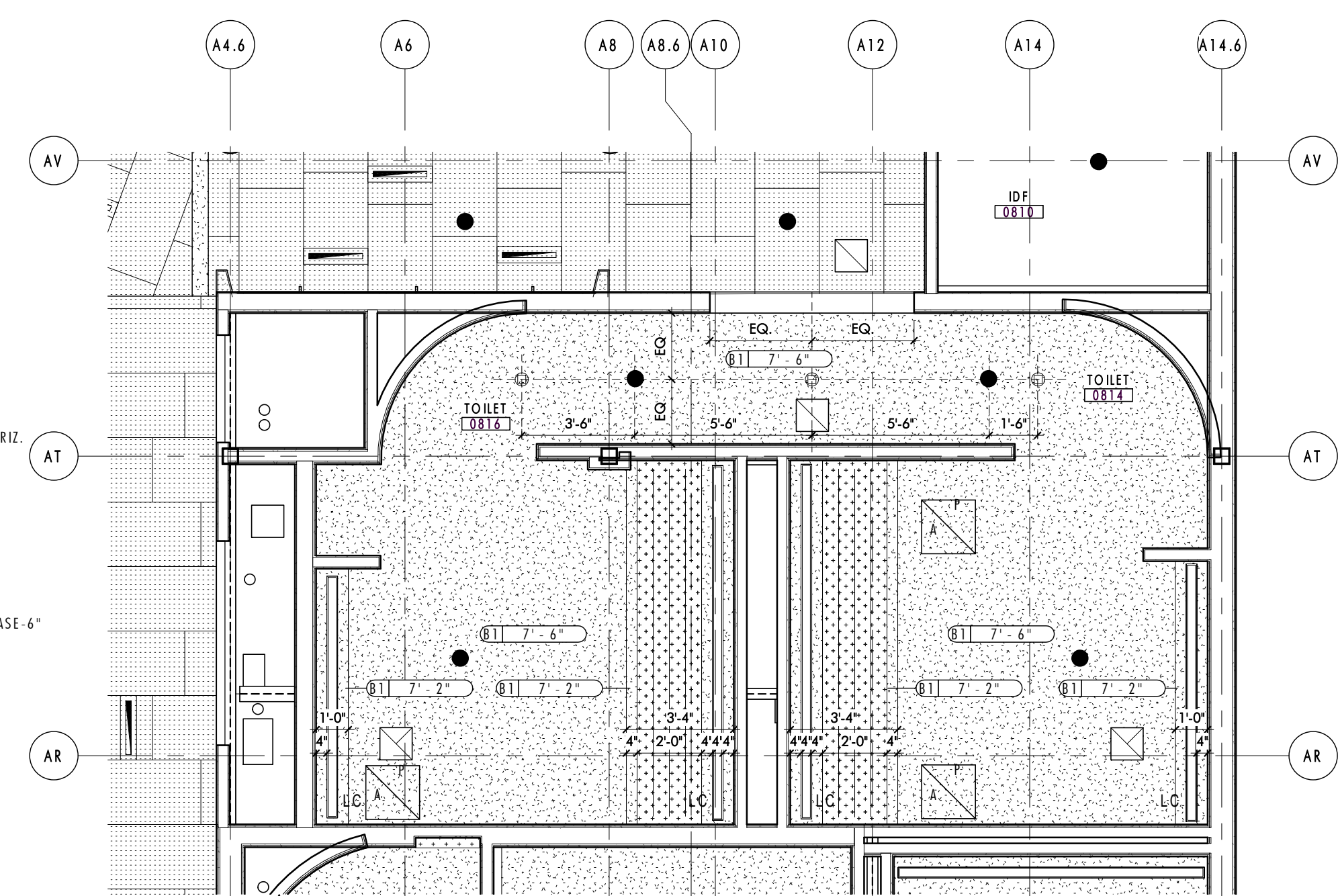
3 STAFF SHOWERS ENLARGED PLAN
1/4" = 1'-0"



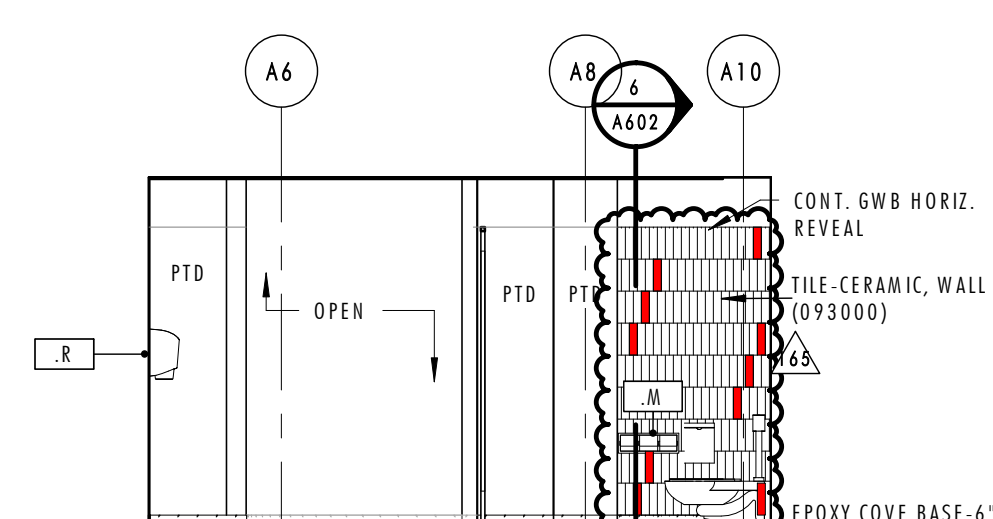
14 FLO 0 TOILET ELEVATION - SOUTH
1/4" = 1'-0"



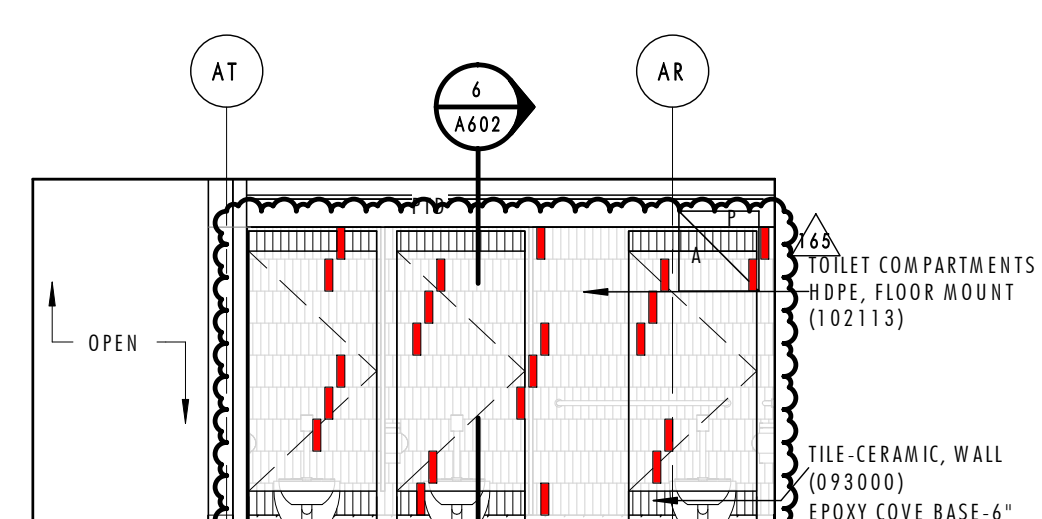
13 FLO 0 TOILET ELEVATION - NORTH
1/4" = 1'-0"



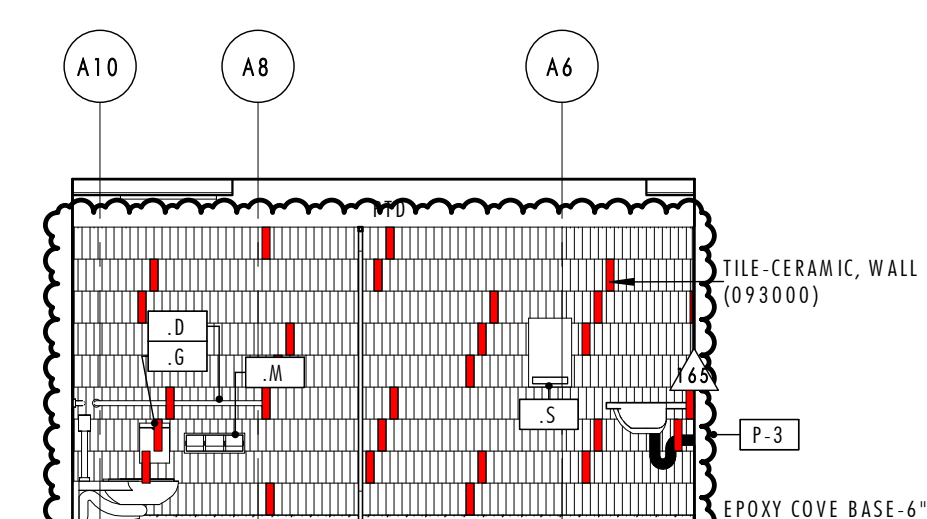
2 FLOOR 0 TOILETS ENLARGED RCP
1/4" = 1'-0"



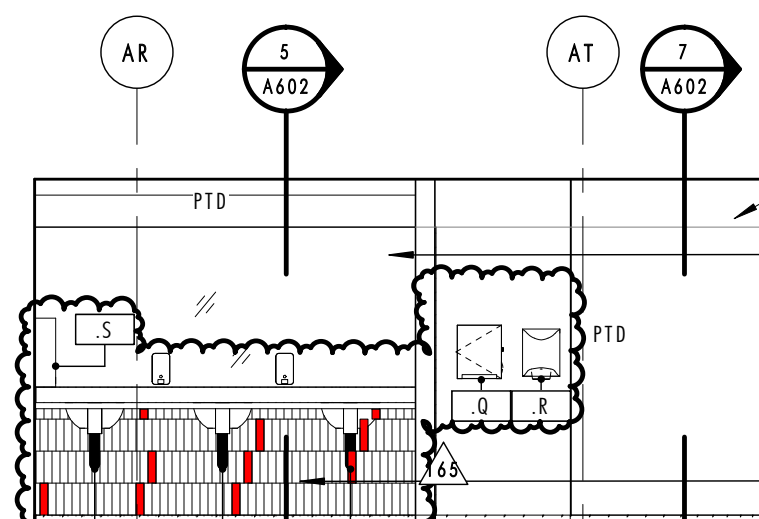
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1/4" = 1'-0"



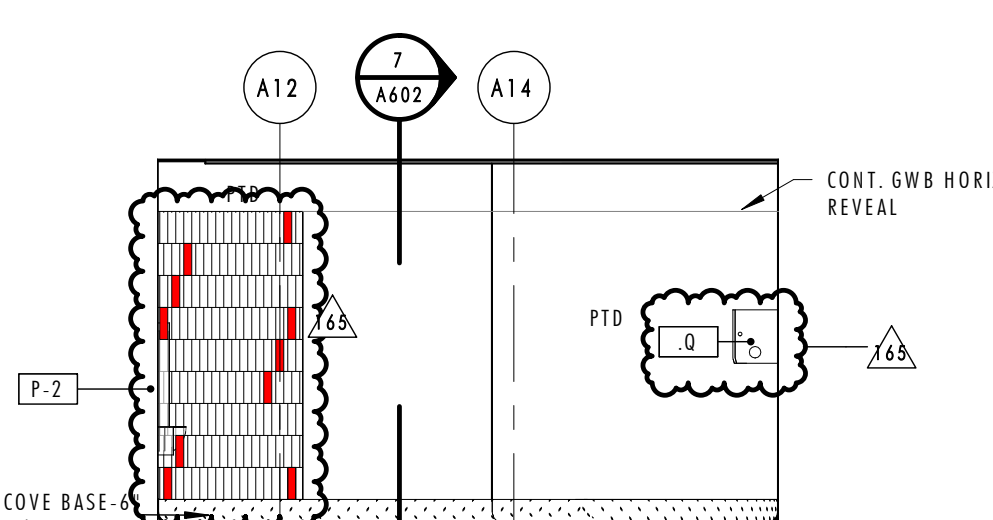
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1/4" = 1'-0"



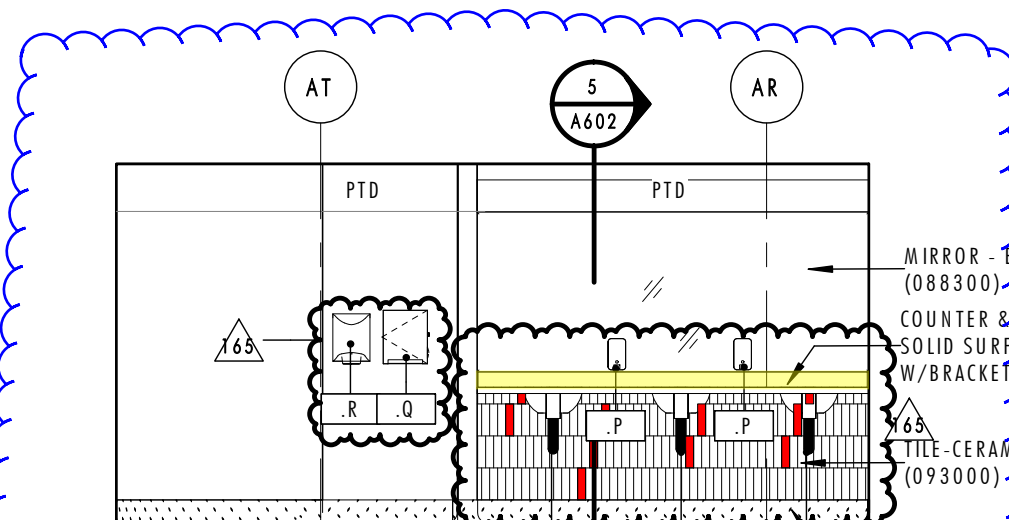
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1/4" = 1'-0"



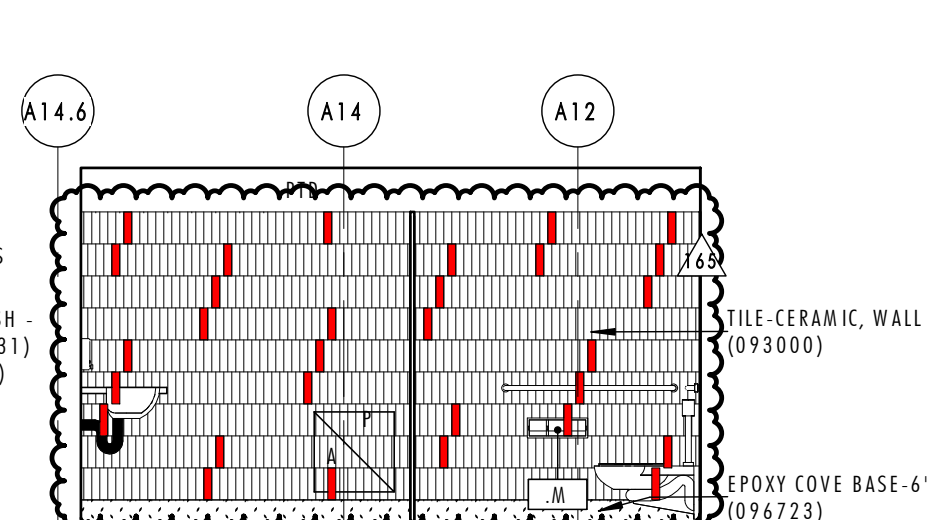
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1/4" = 1'-0"



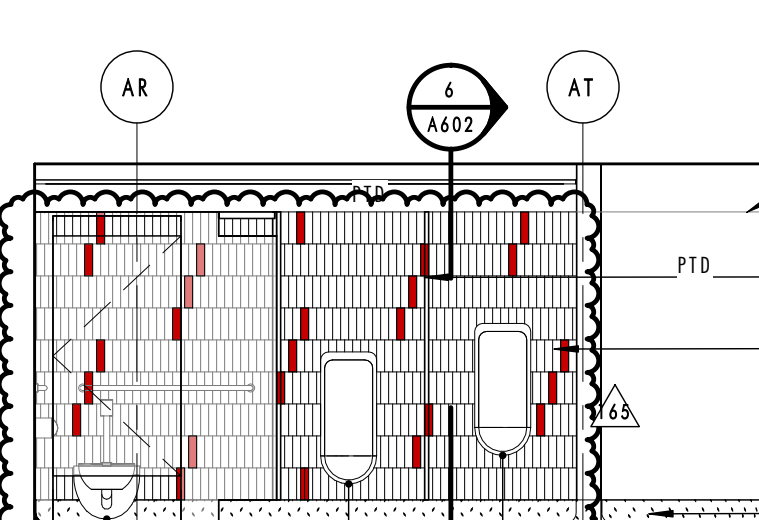
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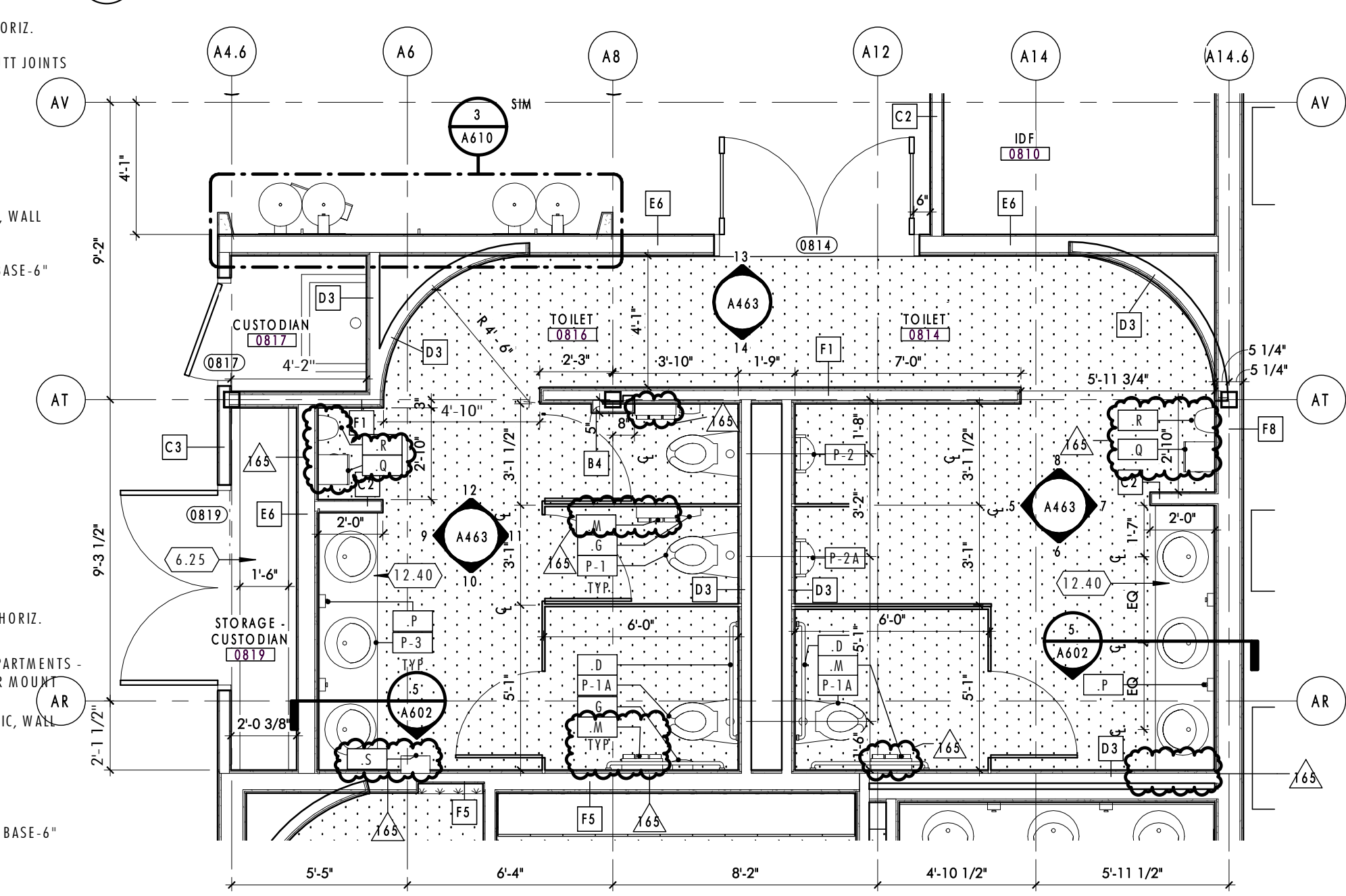
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1/4" = 1'-0"



6 FLOOR 0 TOILET 0814 ELEVATION - SOUTH
1/4" = 1'-0"



5 FLOOR 0 TOILET 0814 ELEVATION - WEST
1/4" = 1'-0"



1 FLOOR 0 TOILETS ENLARGED PLAN
1/4" = 1'-0"

MATERIALS

TYPICAL CLASSROOM FINISHES

SEE A401 FOR A FULL FINISH LEGEND.

WALL	FINISH
AP	FABRIC WRAPPED
CT	ACOUSTIC PANEL (095113)
CWP	CERAMIC TILE - WALL (093000)
GL	CERAMITIOUS WALL PANEL (098433)
GL	GLAZING (080000)
GL	GLAZING - LAM W/ GRADATED PATTERN (080000)
NW	MAGNETIC/WRITABLE - WALL COVERING (101100)
WD	HYAC DIFFUSER
PTD	PAINTED (095100)
PLAM	PLASTIC LAMINATE
TS	SOLID EPOXY (064013)
WD	TACKABLE SURFACE - WALL COVERING (064013)
WP	WRITABLE WALL PAINT (095100)

BASE

FINISH	FINISH
EP	EPOXY FLOORING
OT	QUARRY TILE COVE (093000)
RB	RUBBER BASE (096513)
VB	VENTED RUBBER BASE

FLOOR

FINISH	FINISH
CPT	CARPET
EP	EPOXY FLOORING
GR	RECESSED GRILLE WITH PAN
PC	POWER TROWELED CONCRETE
PP	PEDESTAL PAVERS
QT	QUARRY TILE (093000)
SC	SEALED CONCRETE
VCT	VCT
WD	WOOD ATHLETIC FLOORING
WF	WOOD FLOORING - STAGE HARDBOARD

CEILING TYPE LEGEND

CEILING TYPE	FINISH
A1	ACOUSTICAL PANEL CEILING (095113)
A2	ACOUSTICAL PANEL CEILING (095113)
A3	GEOMETRIC ACOUSTICAL CEILING TILE (095113)
A4	ACOUSTICAL PANEL CEILING (095113)
A5	ACOUSTICAL PANEL CEILING (095113) SLOPED
A6	ACOUSTICAL PANEL CEILING (095113)
B1	GYPSUM WALL BOARD
B2	GYPSUM WALL BOARD - 1HR
B3	GYPSUM WALL BOARD - 2 HR
B4	RESILIENT GYPSUM WALL BOARD
B5	GYPSUM WALL BOARD - 3 HR PLENUM
C1	WOOD GRAIN PLAM
C2	PERF WD GRAIN PLAM
D1	PTD EXPOSED DECK
D1	EXPOSED DECK
E1	DIRECT APPLIED FINISH (EXTERIOR SUFFITS)
T1	TECTUM PANELS (098433) ON DRYWALL SUSPENSION SYSTEM (092116)

KEYNOTE LEGEND

KEYNOTE	DESCRIPTION
6.25	HEAVY DUTY STANDARDS WITH (4) ADJ. SHELVES - MELAMINE (064023)
8.81	MIRROR - BUTT JOINTS (088300)
9.20	TILE - CERAMIC, WALL (093000)
9.56	RUBBER BASE - 6" (096513)
9.69	EPOXY COVE BASE - 6" (096723)
10.21	TOILET COMPARTMENTS - HOPE, FLOOR MOUNT (102113)
12.40	COUNTER & BACKSPLASH - SOLID SURFACE (123631) W/BRACKETS (064023)

PLUMBING FIXTURES

PLUMBING FIXTURE	DESCRIPTION
P-1	WATER CLOSET
P-1A	WATER CLOSET, ACCESSIBLE
P-1B	WATER CLOSET, PRE-K ACCESSIBLE
P-2	URINAL
P-2A	URINAL, ACCESSIBLE
P-3	COUNTER TOP INTEGRAL SINK WITH SOLID SURFACE COUNTER
P-4	SINK, WALL MOUNT
P-5	MOP RECEPTOR
P-5A	HIGH/LOW DRINKING FOUNTAIN WITH BOTTLE FILLER
P-6	SHOWER UNIT
P-7	SINK - CLASSROOM, COUNTER MOUNTED, ACCESSIBLE
P-8	SINK - MAKERSPACE, COUNTER MOUNTED - POT SINK
P-9A	SINK - MAKERSPACE, COUNTER MOUNTED - ACCESSIBLE
P-11	SINK - ART, UNDERMOUNT, ACCESSIBLE
P-11A	SINK - ART, UNDERMOUNT, ACCESSIBLE
P-12	EMERGENCY SHOWER & EYEWASH
P-15	SINK - SCIENCE
P-15A	SINK - SCIENCE, ACCESSIBLE
P-16	SINK - SCIENCE PREP, EYEWASH
P-17	SINK - KITCHEN, DROP IN - ADA

TOILET ACCESSORIES

TOILET ACCESSORY	DESCRIPTION
D	GRAB BAR
D-1	GRAB BAR
G	SURFACE MOUNT SANITARY NAPKIN DISPOSAL, PROVIDE BLOCKING
H	MIRROR - WALL MOUNTED, PROVIDE BLOCKING
M	TOILET PAPER DISPENSER
P	SOAP DISPENSER - WALL MOUNT
P-1	TOILET PAPER DISPENSER
P-2	TOILET PAPER DISPENSER
P-3	TOILET PAPER DISPENSER
P-4	TOILET PAPER DISPENSER
P-5	TOILET PAPER DISPENSER
P-6	TOILET PAPER DISPENSER
P-7	TOILET PAPER DISPENSER
P-8	TOILET PAPER DISPENSER
P-9	TOILET PAPER DISPENSER
P-10	TOILET PAPER DISPENSER
P-11	TOILET PAPER DISPENSER
P-12	TOILET PAPER DISPENSER
P-13	TOILET PAPER DISPENSER
P-14	TOILET PAPER DISPENSER
P-15	TOILET PAPER DISPENSER
P-16	TOILET PAPER DISPENSER
P-17	TOILET PAPER DISPENSER

GENERAL NOTES

ENLARGED PLANS, RCP, ELEVATIONS

GENERAL NOTES

1. DESIGNING AND PARTY WALL PARTITION TYPES VARY PER ROOM. SEE 1/8" SCALE PLANS.
2. REF TO 1/8" RCP DWGS FOR GENERAL RCP GENERAL NOTES AND MATERIALS.
3. CLASSROOM AND SCIENCE SPACES TYPICALLY IN PAIRS. ENLARGED PLANS AND RCP'S SHOW ONE OF THE PAIR, THE OTHER IS D.H.
4. REFERENCE 1/8" SCALE PLANS FOR VARIATIONS TO TYPICALS.
5. SEE ELEVATION 2/A606 FOR TYPICAL GWR REVEAL AND PATTERN IN CORRIDORS.
6. COUNTERTOPS TO INCLUDE CONCEALED SUPPORT BRACKETS (064023) 3'-4" O.C. TYP.



DRISCOLL SCHOOL

PROJECT STATUS

CONTRACT DOCUMENTS
4/16/21

REVISIONS	No.	Date	Description
	4	6/11/21	Conformance Set
	60	11/12/21	RFI-141
	111	02/16/22	RFI-180-1
	165	07/05/22	PR-030

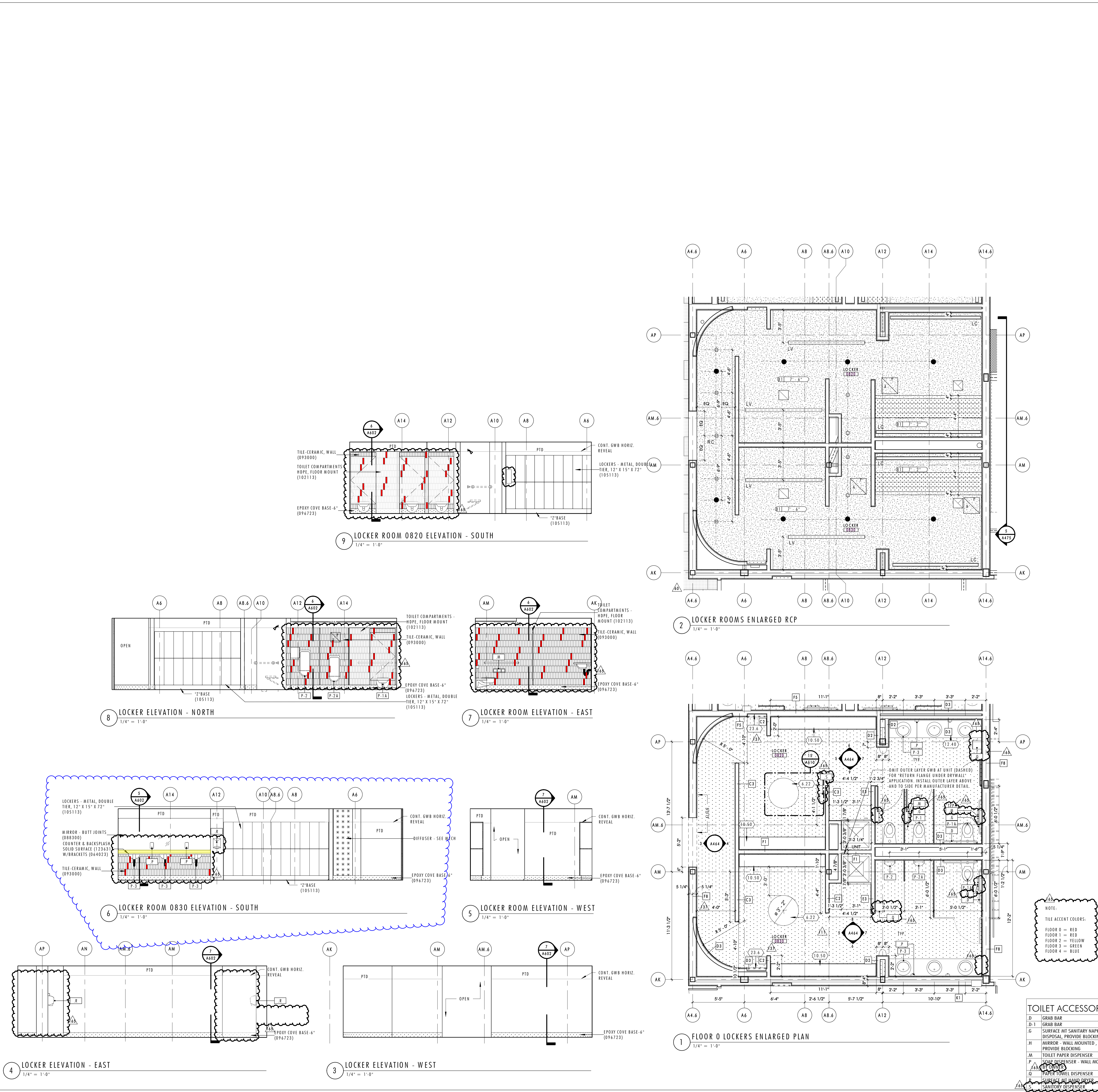
DRAWING NAME

ENLARGED PLAN, RCP, INT. EL. FLO TOILETS AND STAFF SHOWER

PROJECT NO. 1823

DRAWING NO.

A463



MATERIALS		GENERAL NOTES	
TYPICAL CLASSROOM FINISHES SEE A001 FOR A FULL FINISH LEGEND.		ENLARGED PLANS, RCP, ELEVATIONS	
WALL		1. DESIGNING AND PARTY WALL PARTITION TYPES VARY PER ROOM.	
AP		2. SEE 1/8" SCALE PLANS.	
CT		3. REF TO 1/8" RCP DWGS FOR GENERAL RCP GENERAL NOTES AND MATERIALS.	
CWP		4. CLASSROOM AND SCIENCE SPACES TYPICALLY IN PAIRS, ENLARGED PLANS AND RCP'S SHOW ONE OF THE PAIR, THE OTHER IS D.H.	
GL		5. SEE ELEVATION 2/A006 FOR TYPICAL GWB REVEAL AND PATTERN IN CORRIDORS.	
NW		6. COUNTERS TO INCLUDE CONCEALED SUPPORT BRACKETS (064023) 3'-4" O.C. TYP	
PTD			
PLAM			
TS			
WD			
WP			
BASE			
EP			
OT			
RB			
VB			
FLOOR			
CPT			
EP			
GR			
PC			
PP			
QT			
SC			
VCT			
WD			
WF			
CEILING TYPE			
LEGEND			
A1			
A2			
A3			
A4			
A5			
A6			
B1			
B2			
B3			
B4			
B5			
C1			
C2			
D1			
D2			
E1			
T1			
KEYNOTE LEGEND			
6.22			
8.81			
9.30			
9.60			
10.21			
10.50			
12.40			
23.61			
PLUMBING FIXTURES			
P-1			
P-1A			
P-1B			
P-2			
P-2A			
P-2B			
P-3			
P-4			
P-5			
P-5A			
P-7			
P-8			
P-9			
P-9A			
P-11			
P-11A			
P-12			
P-12A			
P-13			
P-13A			
P-14			
P-14A			
P-15			
P-15A			
P-16			
P-17			
TOILET ACCESSORIES			
D			
D-1			
G			
H			
M			
P			
P-1			
P-1A			
P-1B			
P-2			
P-2A			
P-2B			
P-3			
P-4			
P-5			
P-5A			
P-7			
P-8			
P-9			
P-9A			
P-11			
P-11A			
P-12			
P-12A			
P-13			
P-13A			
P-14			
P-14A			
P-15			
P-15A			
P-16			
P-17			
REVISIONS			
No.			
Date			
Description			
4			
6/11/21			
Conformance Set			
60			
11/12/21			
RFP-141			
111			
02/16/22			
RFP-180-1			
137			
04/13/22			
AS-036			
165			
07/05/22			
PR-030			
DRAWING NAME			
ENLARGED PLANS, RCP'S, INTERIOR ELEVATIONS - LOCKER ROOMS			
PROJECT NO.			
1823			
DRAWING NO.			
A464			

TYPICAL CLASSROOM FINISHES	
SEE ADD-ON FOR A FULL FINISHES LEGEND.	
WALL	
AP	FABRIC WRAPPED ACROUSTIC PANEL (090000)
CT	CERAMIC TILE - WALL (093000)
CWP	CEMENTITIOUS WALL PANEL (090800)
GL	GLAZING (080000)
	GLAZING - LAM W/ COLORED GLASS PATTERN (084000)
MW	MAGNETIC/WRITABLE (101100)
	MAGNETIC/WRITABLE (101100)
***	MVA DIFFUSER
PTD	PAINTED (091000)
PLAN	PLASTIC LAMINATE
	SOLID POLY (040023)
TS	TACKABLE SURFACE WALL COVERING (040023)
WD	WOOD FINISH
	WRITABLE WALL PAINT (091000)
BASE	
EP	EXPOSÉ FLOORING
QT	QUARRY TILE COVE
RB	ROUNDER BASE
VB	VENTED RUBBER BASE

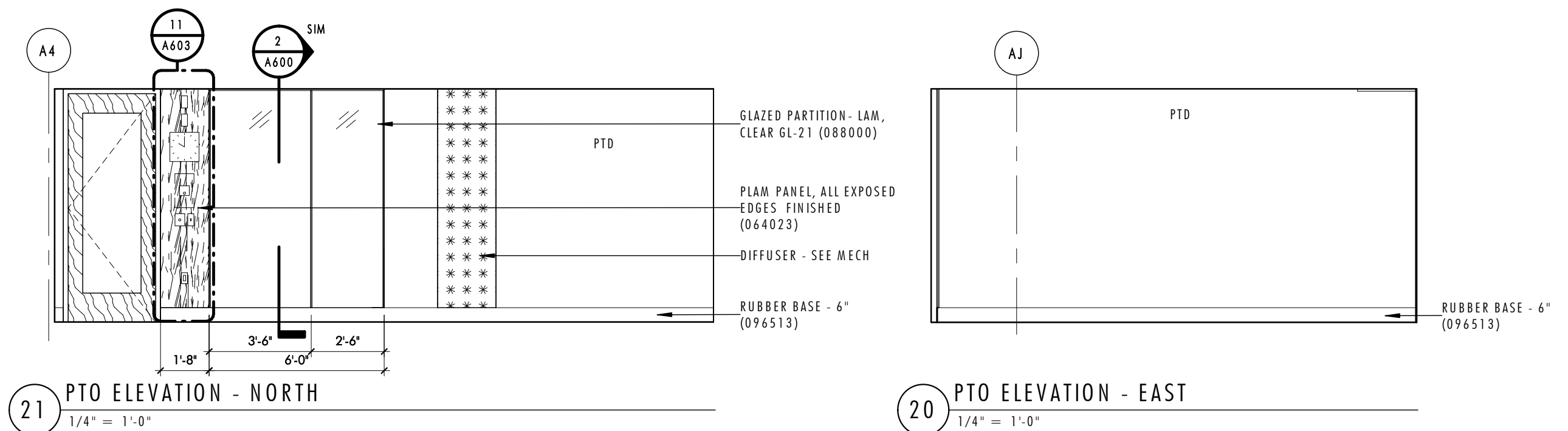
CPT		CARPET
EP		EPOXY FLOORING
GR		RECESSED GRILLE WITH FAN
PC		POWER TROWELED CONCRETE
PP		PEDASTAL PAVERS
QT		QUARRY TILE (093000)
SC		SEALED CONCRETE
VCT		VCT
WD		WOOD ATHLETIC FLOORING
WF		WOOD FLOORING - STAG HARDBOARD

A1	ACOUSTICAL PANEL CEILING (095113)
A2	ACOUSTICAL PANEL CEILING (095113)
A3	GEOMETRIC ACOUSTICAL CEILING TILE (095113)
A4	ACOUSTICAL PANEL CEILING (095113) KITCHEN
A5	ACOUSTICAL PANEL CEILING (095113) SLOPER
B1	ACOUSTICAL PANEL CEILING (095113)
B2	GYPSUM WALL BOARD
B3	GYPSUM WALL BOARD - 1HR
B4	GYPSUM WALL BOARD - 2 HR
B5	RESILIENT GYPSUM WALL BOARD (SEE DETAIL 3/A6/90)
C1	GYPSUM WALL BOARD - 2 HR FLEEC
C2	WOOD GRAIN PLAM
D1	PERF WD GRAIN PLAM
D2	PTD EXPOSED DECK
D3	EXPOSED DECK
E1	DIRECT AFFIX (094833) (EXTERIOR SUPPORTS)
E2	TECTUM PANELS (094833) ON DOWEL SUSPENSION SYSTEM (095114)

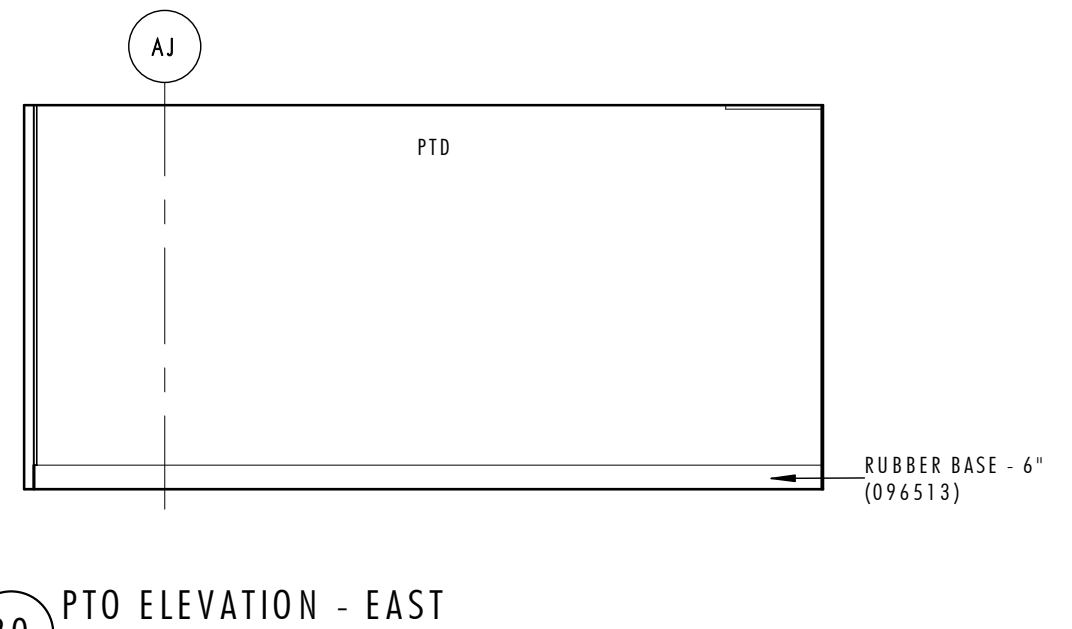
3.10	DISH TO DRAIN
6.40	PLAM PANEL, ALL EXPOSED EDGES FINISHED (064023)
8.21	GLAZED PARTITION- LAM, CLEAR GL-21 (088000)
9.30	TILE-CERAMIC, WALL (093000)
9.56	RUBBER BASE - 6" (096513)
9.69	EPOXY COVE BASE-6" (096723)
9.72	CONTINUOUS MAGNETIC WRITABLE WALL-COVERING (101100)
23.6	DIFFUSER - SEE MECH

- P-1 WATER CLOSET
- P-1A WATER CLOSET, ACCESSIBLE
- P-1B WATER CLOSET, PRE-K ACCESSIBLE
- P-2 URINAL
- P-2A URINAL, ACCESSIBLE
- P-3 COUNTER TOP INTEGRAL SINK WITH SOLID SURFACE COUNTER
- P-4 SINK, WALL MOUNT
- P-5 MOP RECEPTOR
- P-5A HIGH TOP DRINKING FOUNTAIN WITH BOTTLE FILLER
- P-7 SHOWER UNIT
- P-8 SINK - CLASSROOM, COUNTER MOUNTED, ACCESSIBLE
- P-9 SINK - KITCHEN, COUNTER MOUNTED - POT SINK
- P-9A SINK - MAKERPACE, COUNTER MOUNTED - ACCESSIBLE
- P-10 SINK - ART, UNDERMOUNT
- P-11A SINK - ART, UNDERMOUNT, ACCESSIBLE
- P-12 EMERGENCY SHOWER & EYEWASH
- P-13 SINK - SCIENCE
- P-15A SINK - SCIENCE, ACCESSIBLE
- P-16 SINK - SCIENCE, PREF. EYEWASH
- P-17 SINK - KITCHEN, DROP IN - ADA

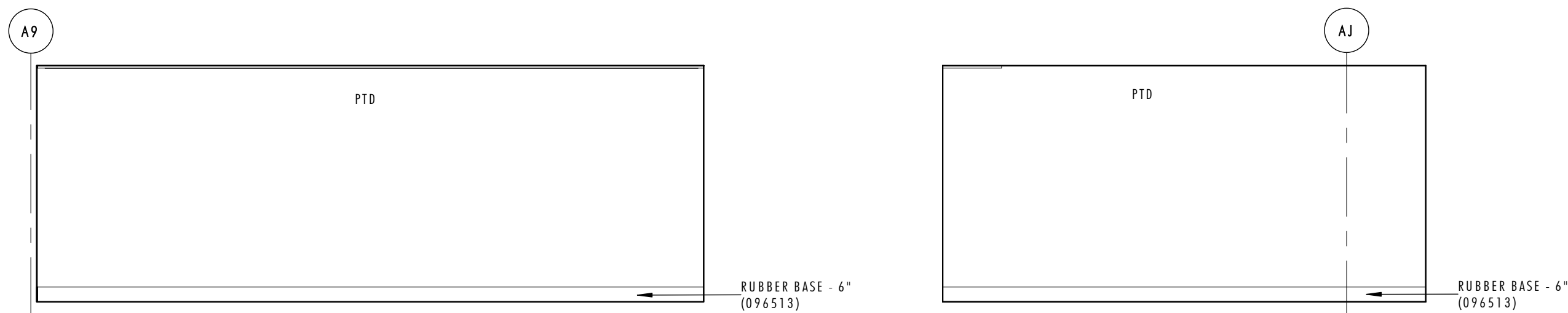
D	GRAB BAR
D-1	GRAB BAR
G	SURFACE MT SANITARY NAPKIN DISPOSAL, PROVIDE BLOCKING
H	MIRROR - WALL MOUNTED , PROVIDE BLOCKING
M	TOILET PAPER DISPENSER
P	SOAP DISPENSER - WALL MOUNT
Q	PAPER TOWEL DISPENSER
R	SURFACE MT HAND DRYER
S	SANITARY DISPENSER



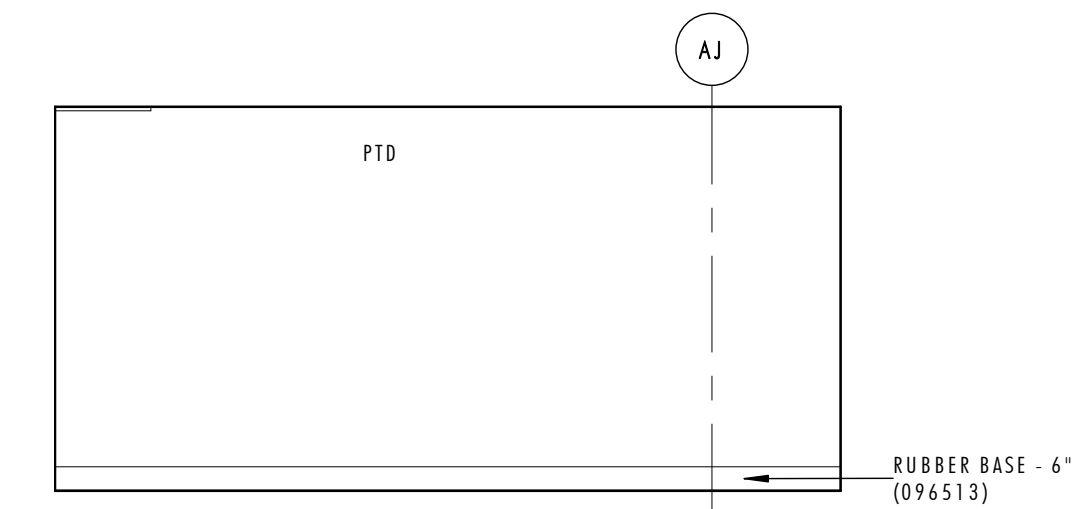
21 PTO ELEVATION - NORTH
1/4" = 1'-0"



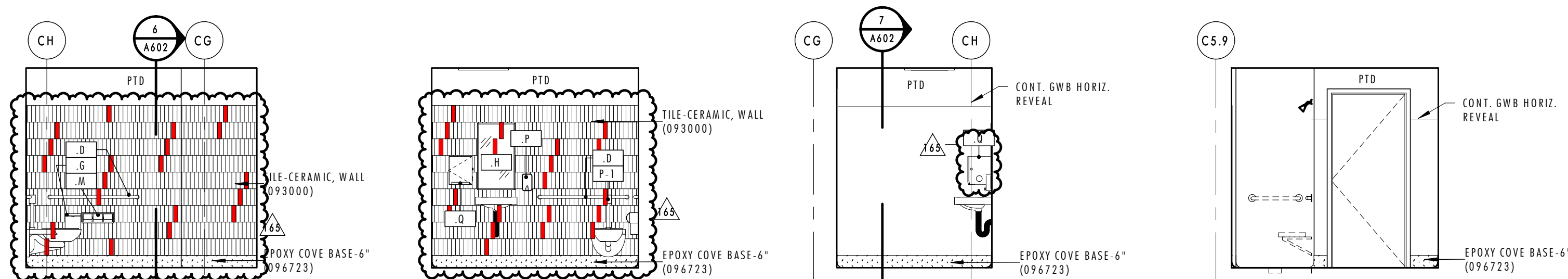
PTO ELEVATION - EAST
1/4" = 1'-0"



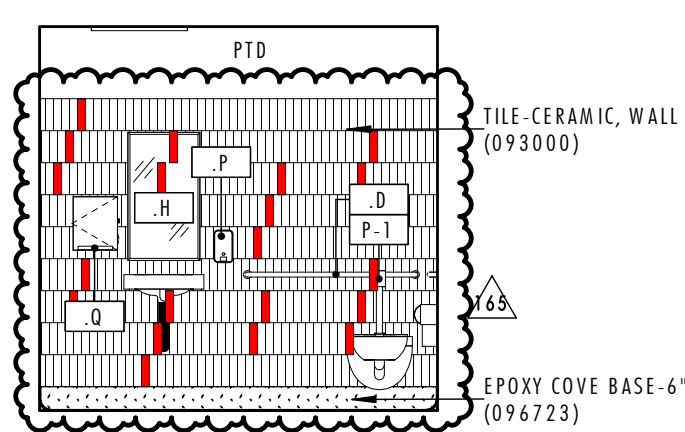
19 PTO ELEVATION - SOUTH
1/4" = 1'-0"



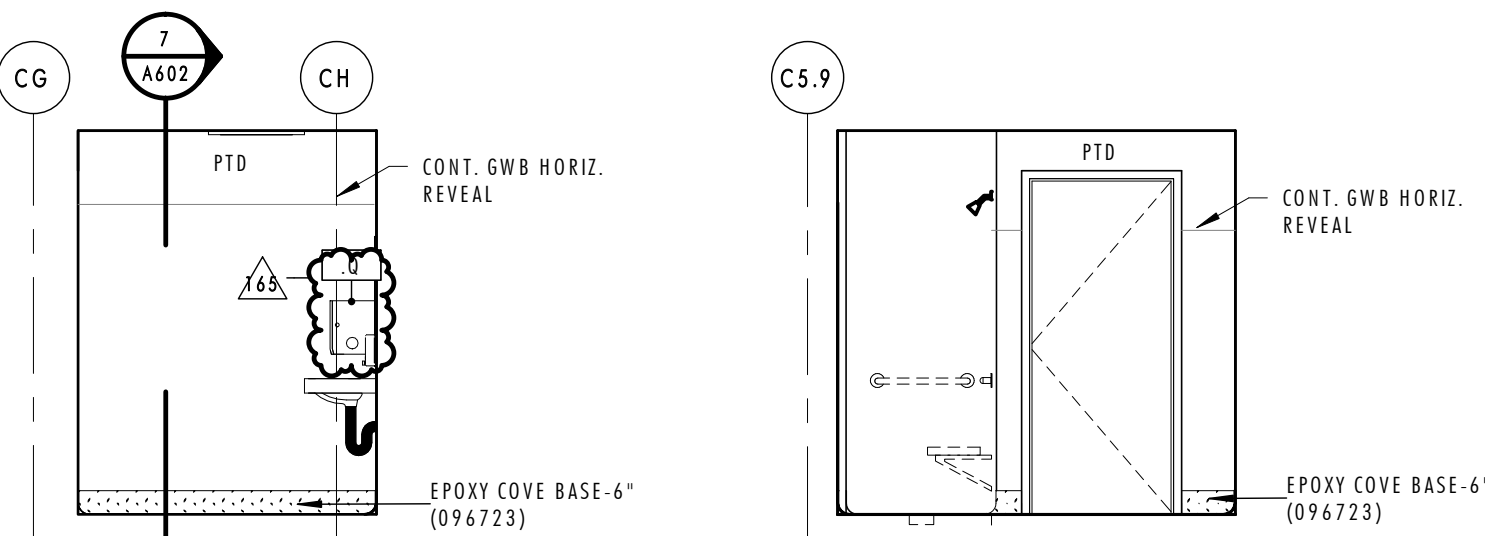
8) PTO ELEVATION - WEST
1/4" = 1'-0"



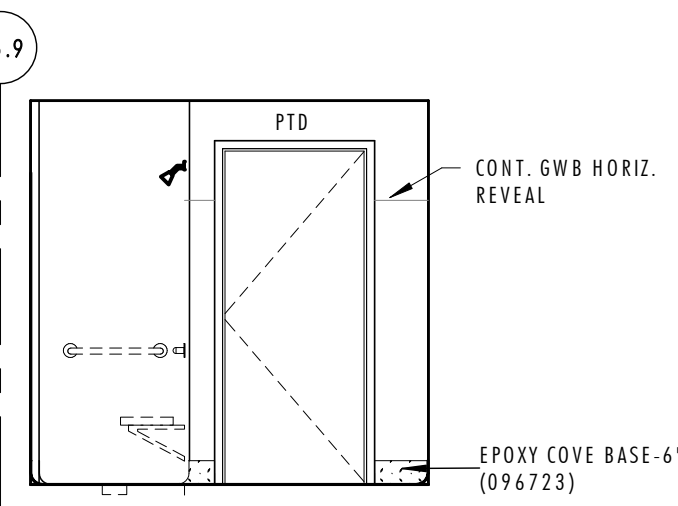
15 CUSTODIAL TOILET ELEVATION - NORTH
1/4" = 1'-0"



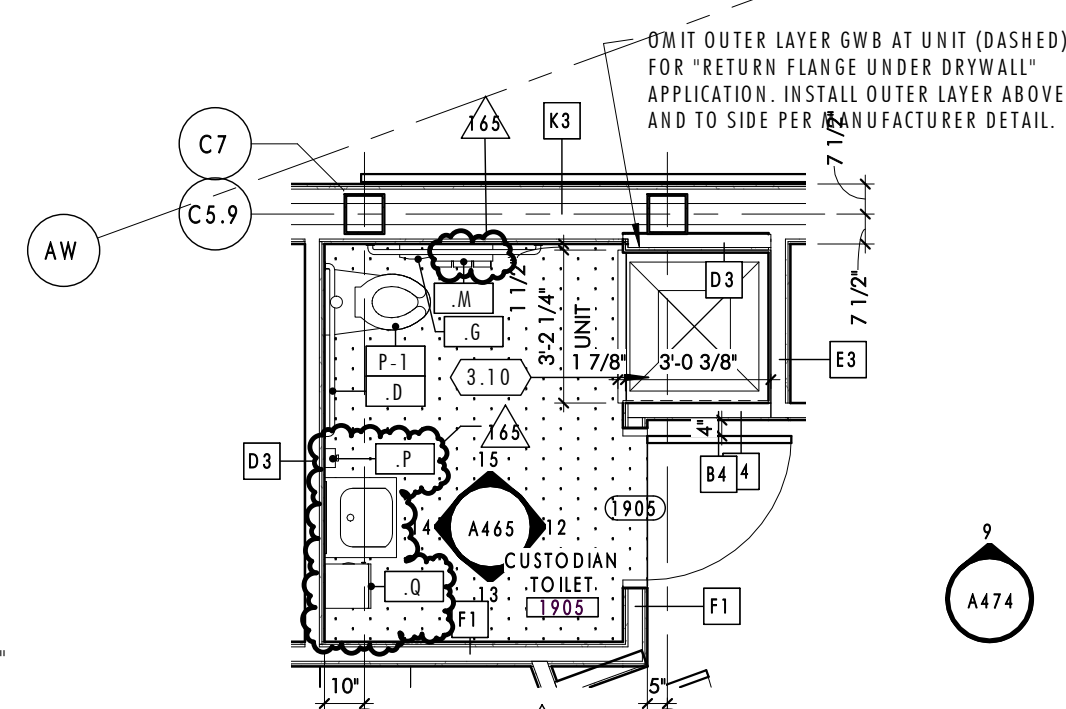
14 CUSTODIAL TOILET ELEVATION - EAST
1/4" = 1'-0"



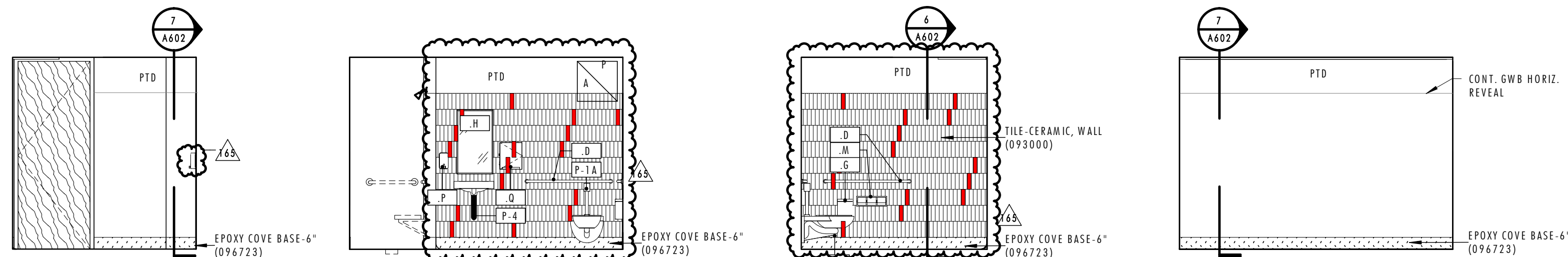
13 CUSTODIAN TOILET ELEVATION - SOUTH
1/4" = 1'-0"



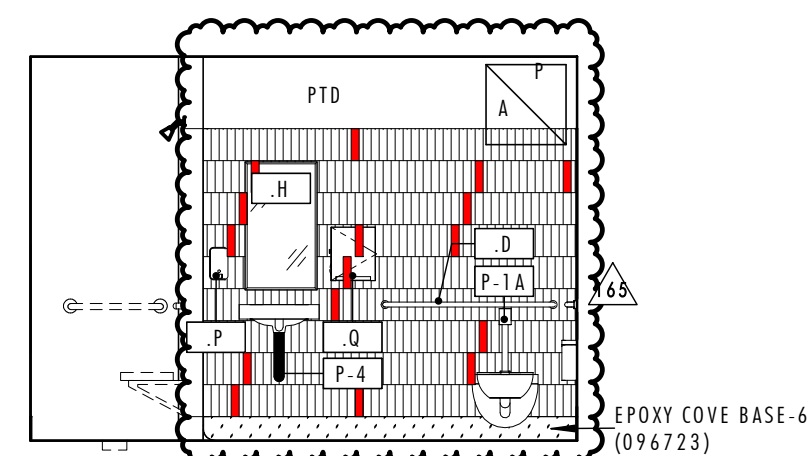
12 CUSTODIAN TOILET ELEVATION - WEST
1/4" = 1'-0"



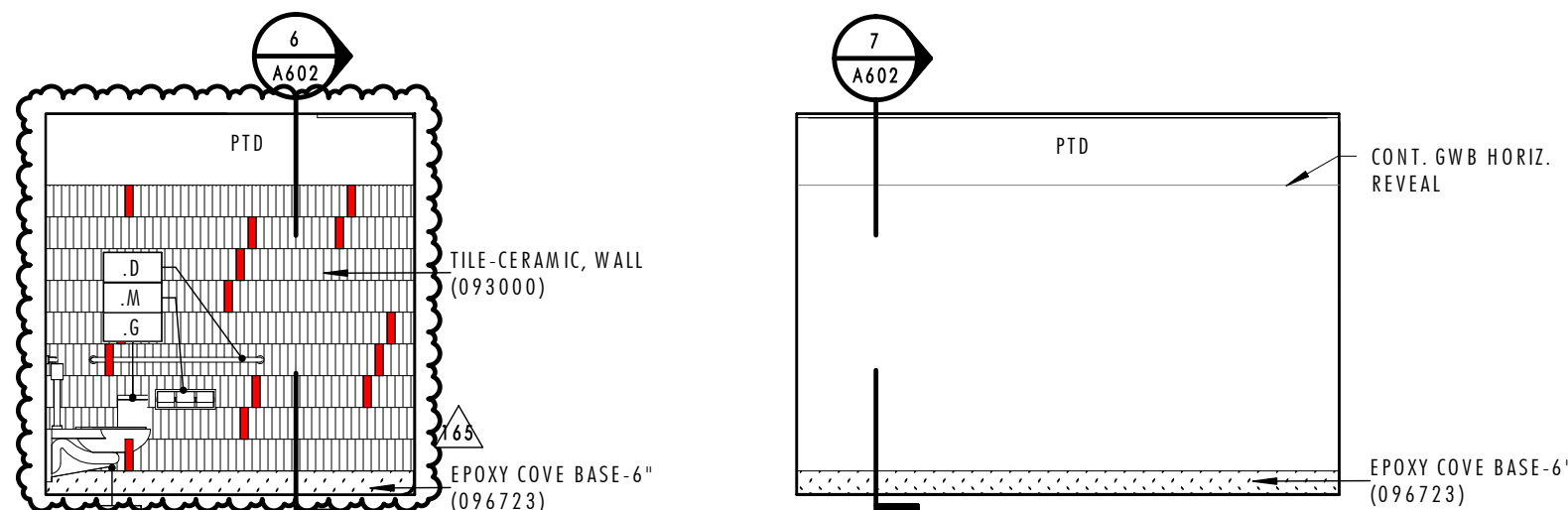
11 CUSTODIAN TOILET - ENLARGED PLAN
1/4" = 1'-0"



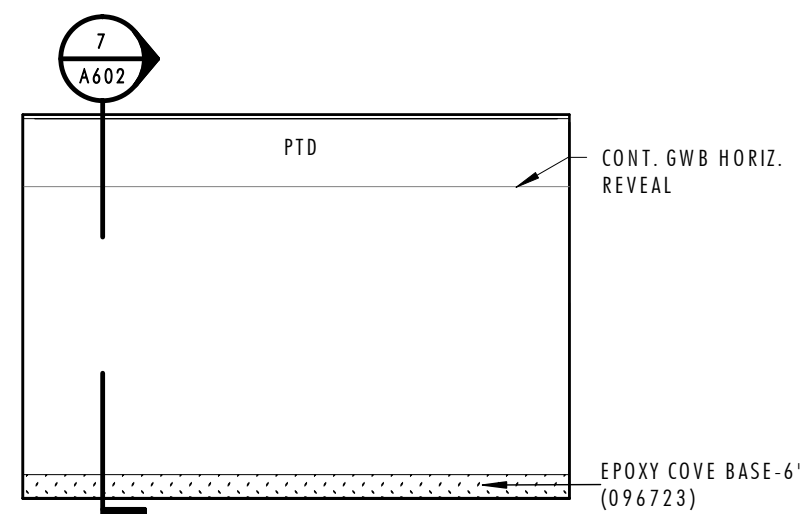
10 $1/4" = 1'-0"$



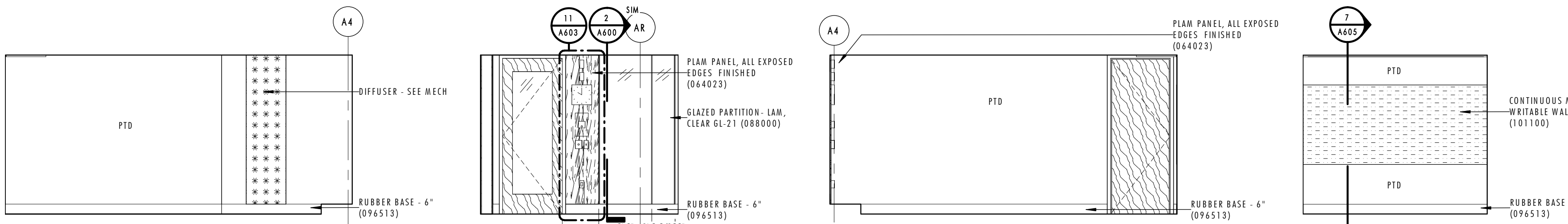
9 ELEVATION - EAST
 $1/4" = 1'-0"$



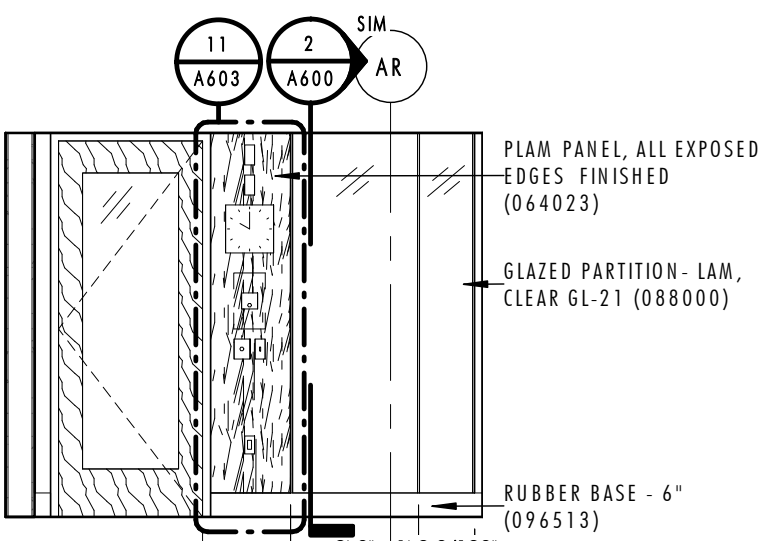
8 SOUTH
1/4" = 1'-0"



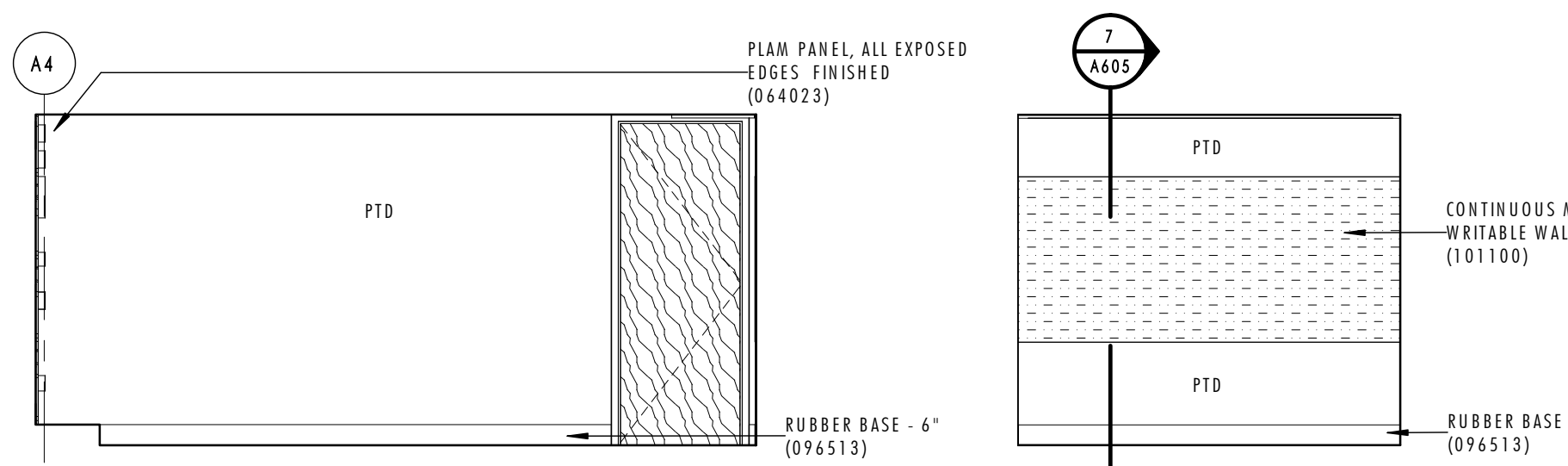
7 HEALTH TOILET/SHOWER ELEVATION - WEST
1/4" = 1'-0"



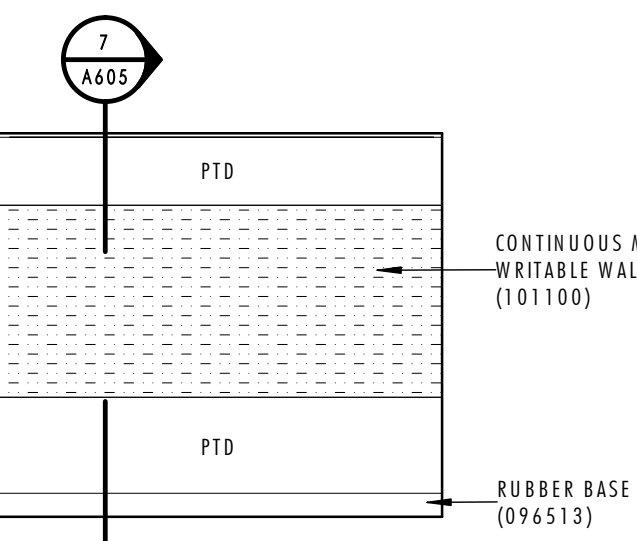
6 HEALTH OFFICE ELEVATION - NORTH
1/4" = 1'-0"



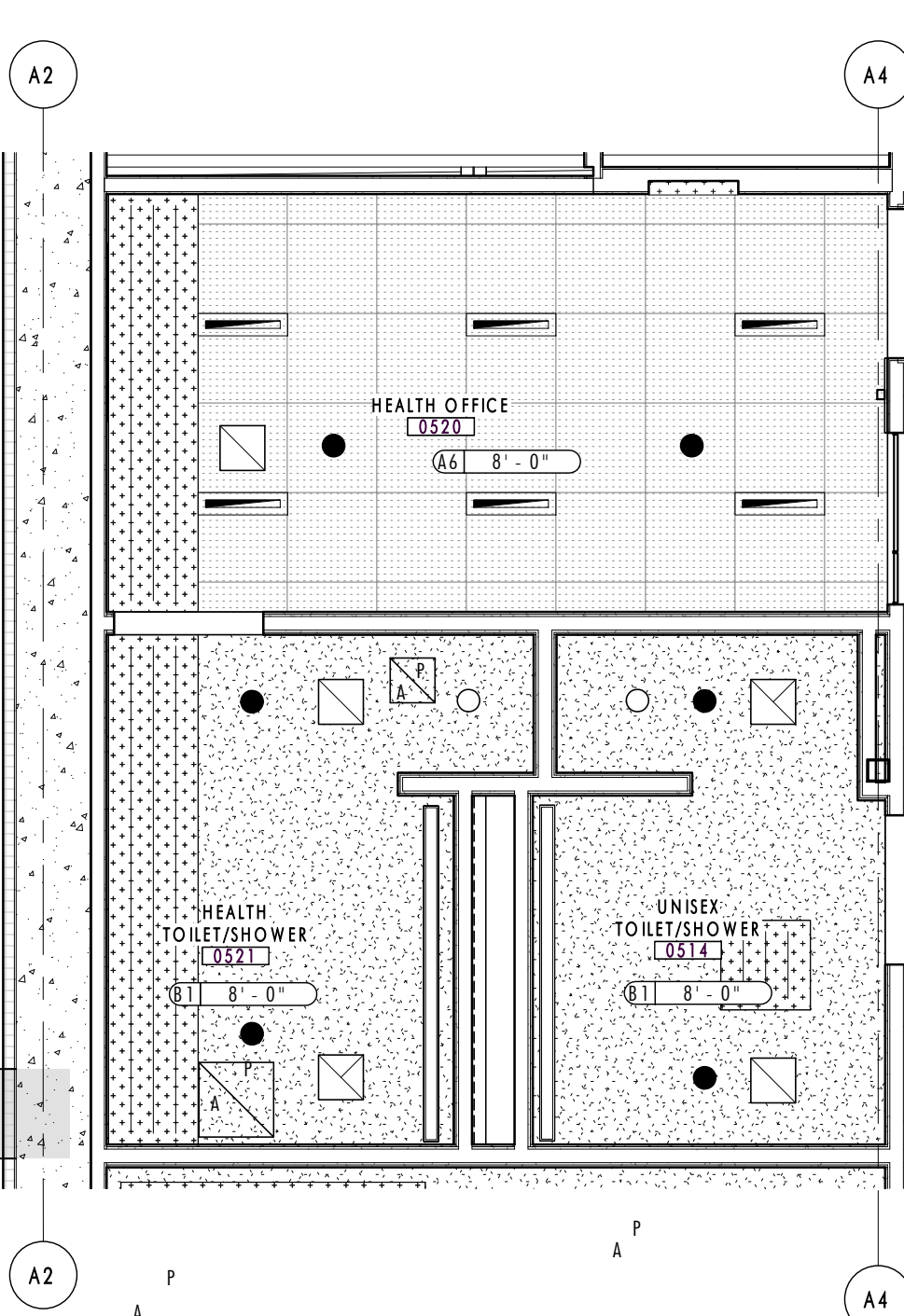
5 HEALTH OFFICE ELEVATION - EAST
1/4" = 1'-0"



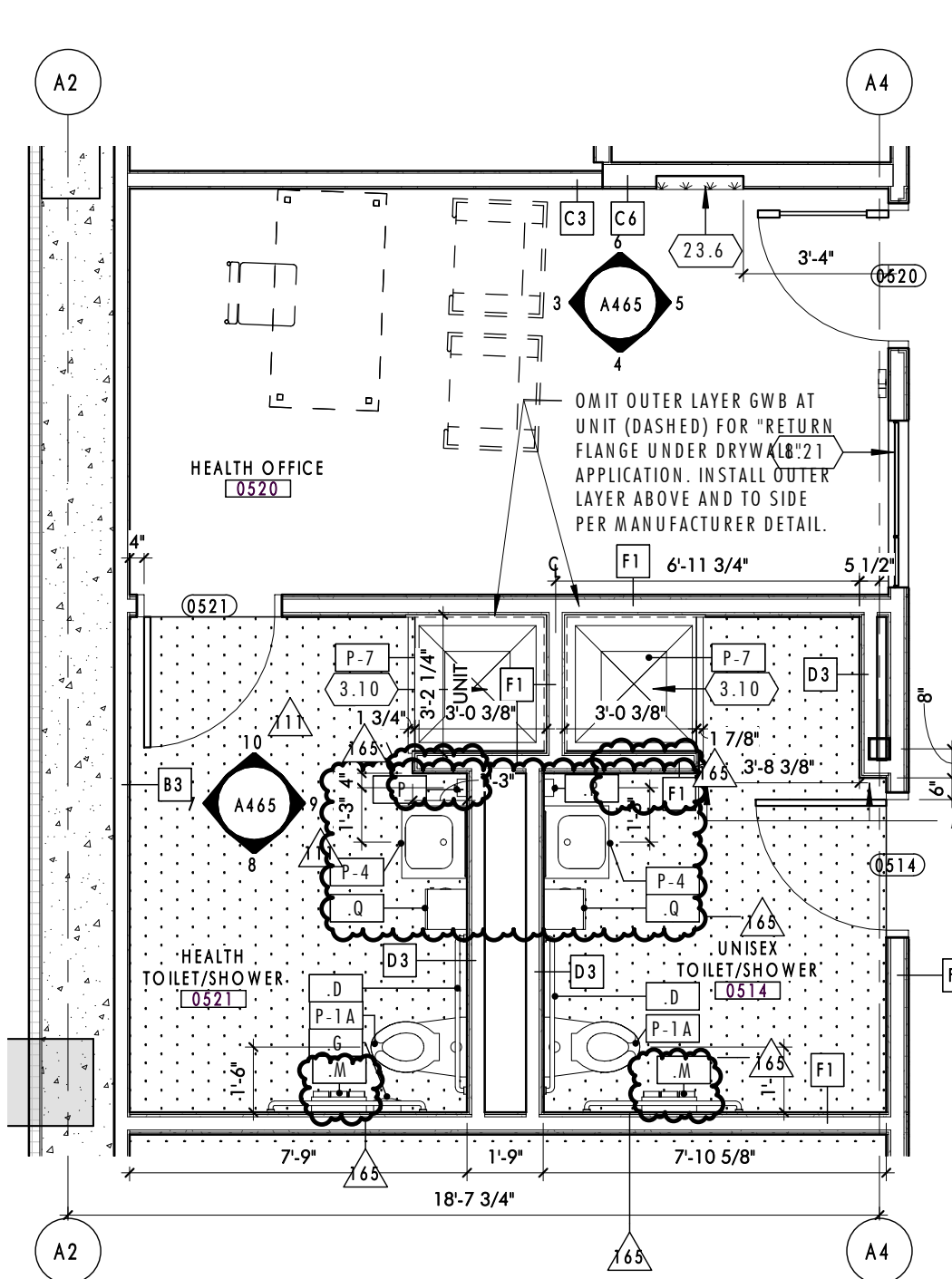
4 HEALTH OFFICE ELEVATION - SOUTH
1/4" = 1'-0"



3 HEALTH OFFICE ELEVATION - WEST
1/4" = 1'-0"



HEALTH OFFICE ENLARGED RCP
1/4" = 1'-0"

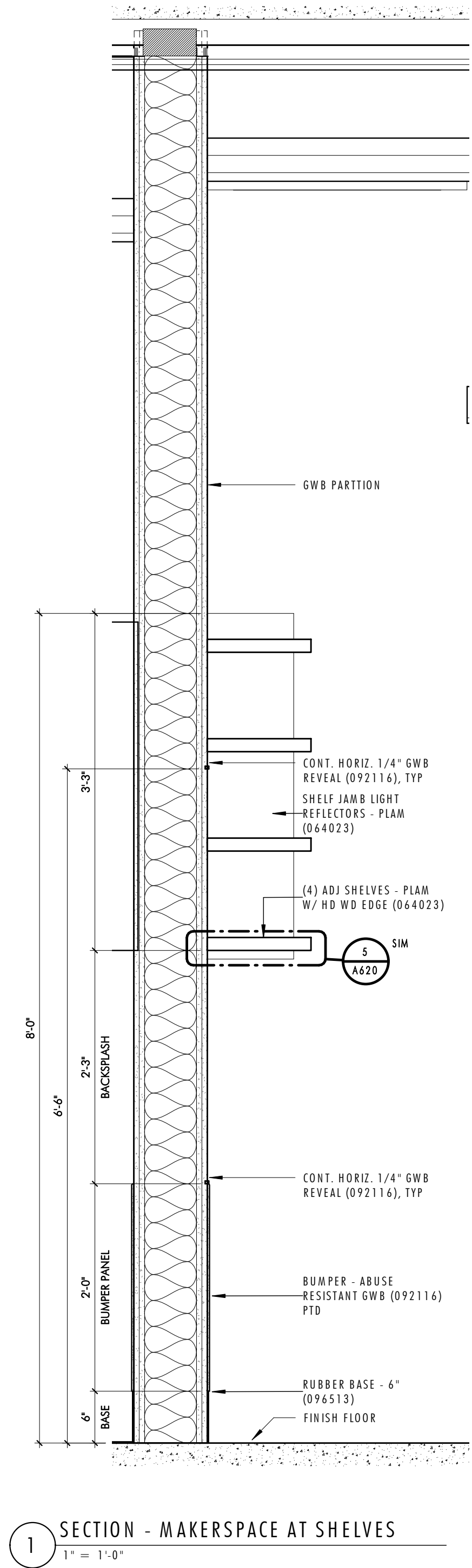
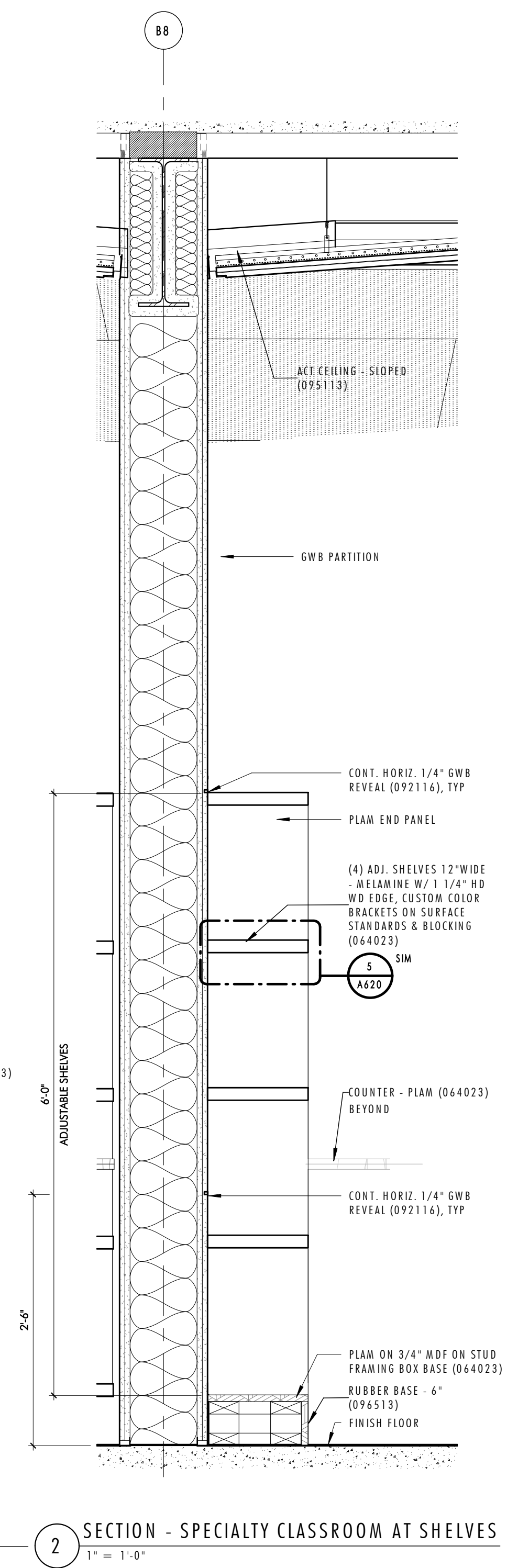
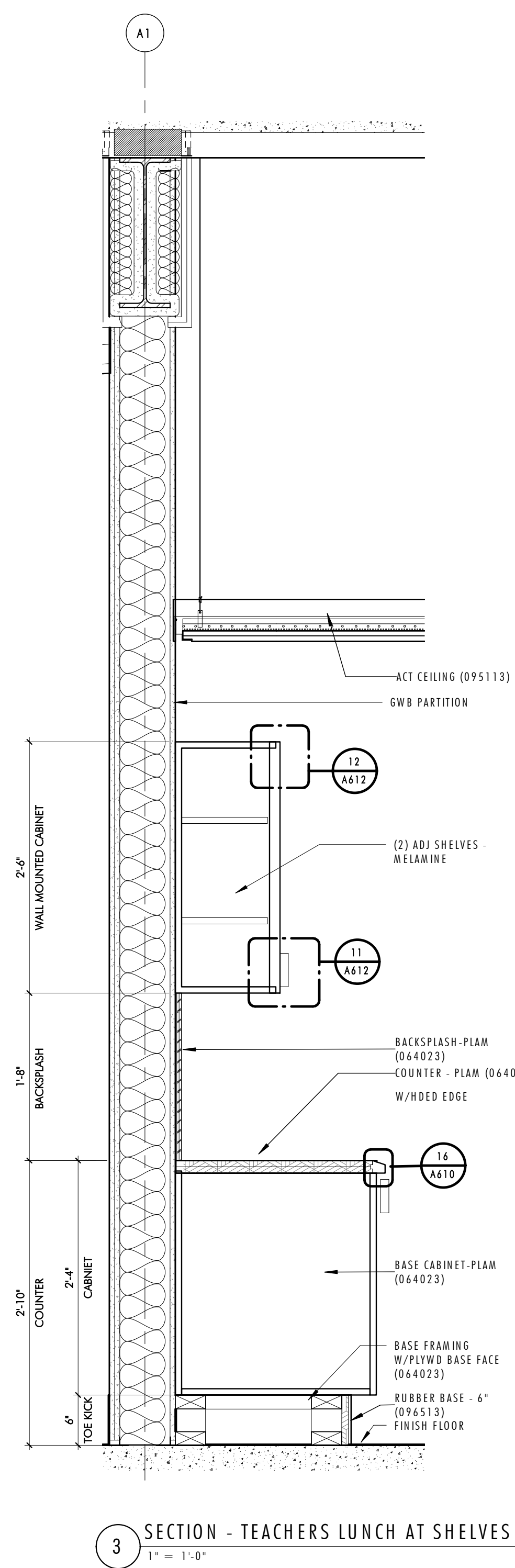
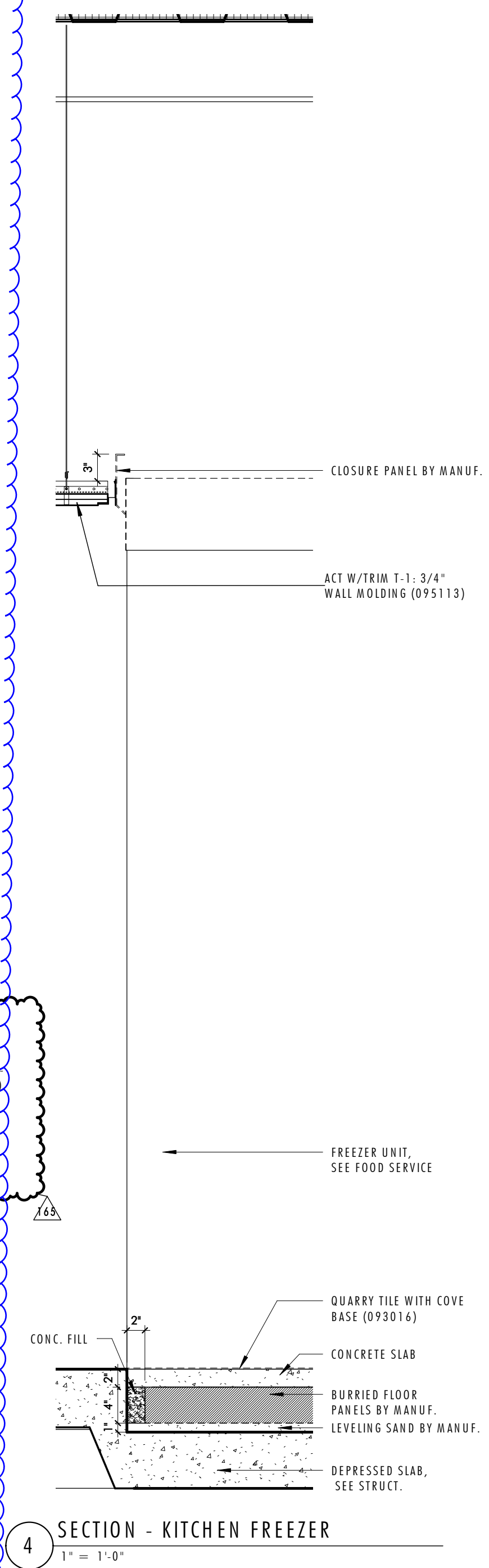
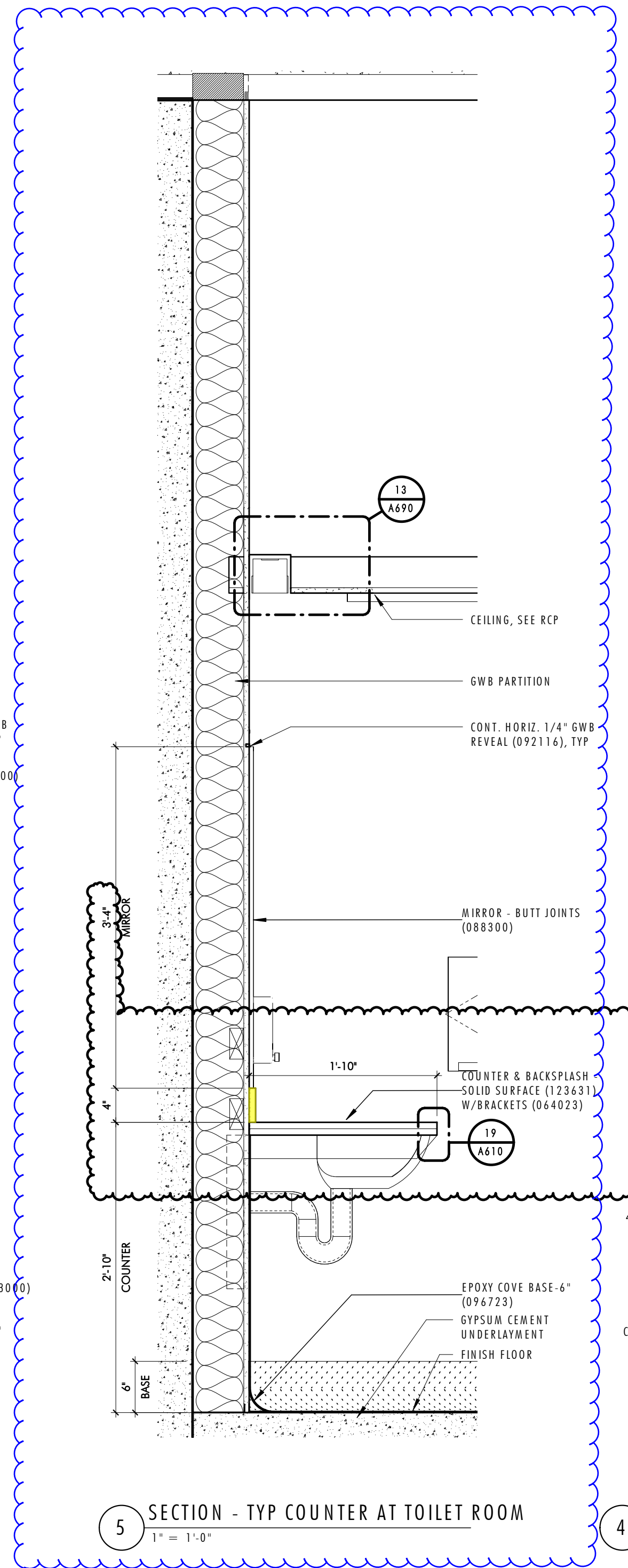
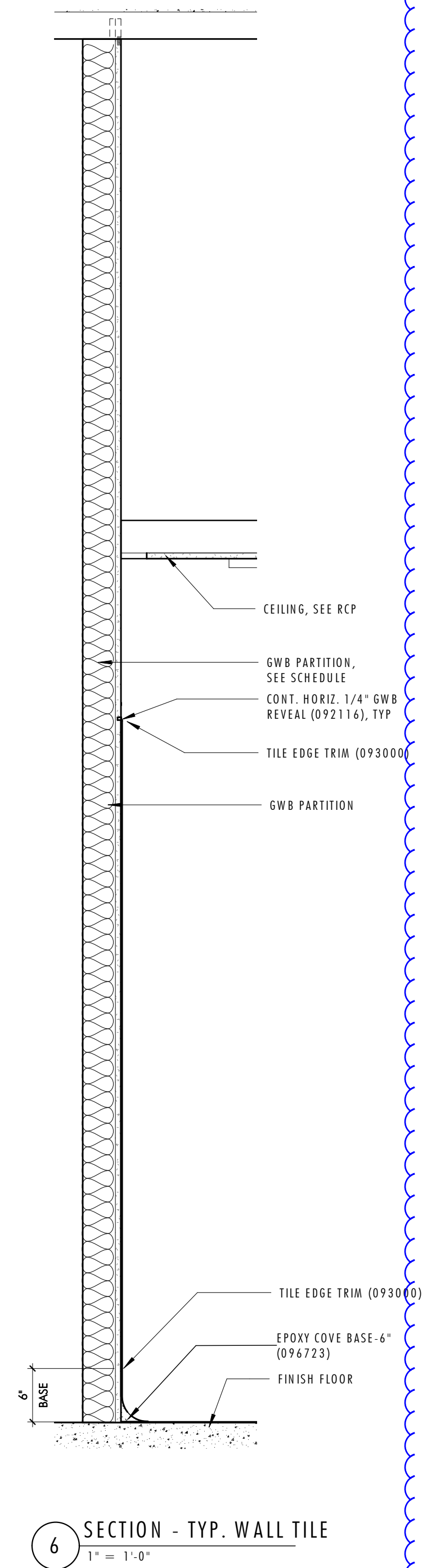
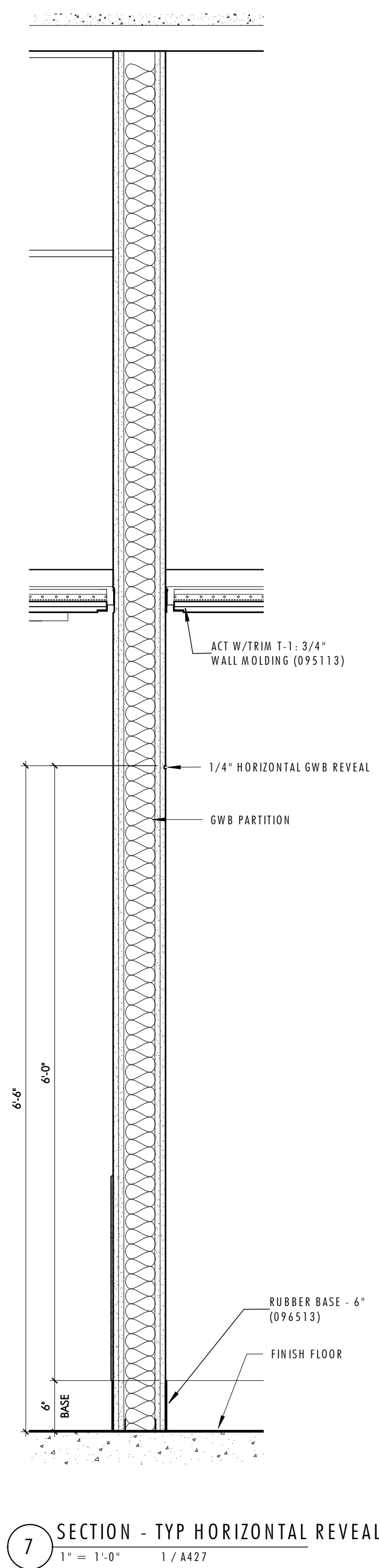


HEALTH OFFICE ENLARGED PLAN
1/4" = 1'-0"

NOTE:

TILE ACCENT COLORS:

FLOOR 0 = RED
FLOOR 1 = RED
FLOOR 2 = YELLOW
FLOOR 3 = GREEN
FLOOR 4 = BLUE



DRISCOLL SCHOOL

PROJECT STATUS	
CONTRACT DOCUMENTS	
4/16/21	

REVISIONS		
No.	Date	Description
4	6/11/21	Conformance Set
165	07/05/22	PR-030

DRAWING NAME
INTERIOR WALL SECTIONS

PROJECT NO. 1823
DRAWING NO.

A602

**CHANGE
ORDER**

AIA DOCUMENT G701

3.D.
CO #07R

OWNER	<input type="checkbox"/>
ARCHITECT	<input type="checkbox"/>
CONTRACTOR	<input checked="" type="checkbox"/>
FIELD	<input type="checkbox"/>
OTHER	<input type="checkbox"/>

PROJECT: Brookline High School
115 Greenough Street
BROOKLINE, MA 02445

TO CONTRACTOR:

LAMBRIAN CONSTRUCTION Corp.

CHANGE ORDER NUMBER: 007-REV

DATE: 01/11/23

ARCHITECT'S PROJECT NO.:

CONTRACT DATE: March 29, 2022

CONTRACT FOR: 3rd Floor Renovation & Quad Repairs

The Contract is changed as follows:

Approved Values

PCO#03 - Removal of Debris in Basement Pit	\$7,017.00
PCO#04 - Coring for additional testing @ Basement Pit	\$6,392.00
PCO#05R - Tile Work # 3rd Floor Corridors	\$83,800.00
PCO#08 - Per RFI 11: Corridor Fire Doors demolition	\$2,336.00
PCO#10 - Per RFI 58: Corridor Doors Demolition	\$1,125.00
PCO#30R - Corridor Benches Back Panels	\$27,974.00
PCO#57 - Landscape: New Planting at Quad	\$1,292.00

TOTAL

\$129,936.00

APPROVED:


President

Not valid until signed by the Owner, Architect and Contractor.

The original (Contract Sum) (Guaranteed maximum Price) was	<u>\$8,482,000.00</u>
Net change by previously authorized Change orders	<u>\$427,835.60</u>
The (Contract Sum) (Guaranteed maximum Price) prior to this Change order was	<u>\$8,909,835.60</u>
The (Contract Sum) (Guaranteed maximum price) will be (increased) (decreased) (unchanged) by this Change Order in the amount of	<u>\$129,936.00</u>
The new (Contract Sum) (Guaranteed maximum Price) including this Change order will be	<u>\$9,039,771.60</u>

The Contract Time will be (increased) decreased) (unchanged) by
The date of Substantial Completion as of the date of this Change Order therefore is

NOTE: This summary does not reflect changes in the Contract Sum, Contract Time or Guaranteed Maximum Price which have been authorized by Construction Change Directive.

William Rawn Associates, Architects Inc.

Lambrian Construction Corporation

Town Of Brookline

ARCHITECT

CONTRACTOR

OWNER

27 School Street, Boston ma 02108

420 Turnpike Street, Canton, Ma 02021

333 Washington St, Brookline, Ma 02445

Address

Address

Address

BY Andrew Jonic, AIA
Assoc. Principal

BY James Lambrianidis - President

BY

DATE 1/12/2023

DATE 12/28/2022

DATE

June 10, 2002

WILLIAM RAWN ASSOCIATES, Architects Inc.
 27 School Street
 BOSTON, MA 02108

Project:
BROOKLINE HIGH SCHOOL - 3RD FLOOR RENOVATIONS & QUAD REPAIRS
 115 Greenough Street
 BROOKLINE, MA 02445

COP 03 - CHANGE ORDER PROPOSAL 03

OBJECT:

Removal of debris @ pit in the basement

Item #	DESCRIPTION	Unit	QTY	\$ / unit	Subtotal	TOTAL
--------	-------------	------	-----	-----------	----------	-------

Quote:

See NG Environmental Proposal - dated 06/09/22

\$5,200.00

G.C. Fees (10%) - ADD

% 10.00%

\$520.00

\$5,720.00

Bond Fee (1.5%) - ADD

% 1.50%

\$85.80

\$5,805.80

TOTAL

\$5,805.80

Labor: ADD

(1) superintendent - 8hrs @ \$97.50/hr

hrs

8

\$97.50

\$780.00

Insurance and Tax on Labor (33%)

%

33%

\$257.40

Subtotal

\$1,037.40

G.C. Fees (15%) - ADD

%

15.00%

\$155.61

\$1,193.01

Bond Fee (1.5%) - ADD

%

1.50%

\$17.90

\$1,210.91

Subtotal

\$1,210.91

TOTAL

\$7,016.71

SAY:

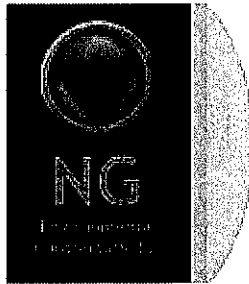
\$7,017.00

TOTAL ADD AMOUNT: Seven Thousand Seventeen Dollars

Sincerely,

Alex Galanos - Project Manager

Lambrian Construction, Corp



NG Environmental Contractors, Inc.

Asbestos Abatement · Lead Paint · Selective Demolition · Mold · Haz-Mat

Date: 06/09/2022

To Alex Galanos
Estimator/Project Manager
Lambrian Construction

Project: Brookline High School

Re: Selective demolition

PROPOSAL SUMMARY:

NG Environmental Contractors, LLC is pleased to submit this proposal for the aforementioned project, to be completed for the lump sum of **\$ 5,200.00** (Five Thousand Two Hundred Dollars) for the scope or work listed below in this proposal. NG Environmental Contractors will supply all labor, equipment, materials, and disposal to complete the scope of work listed below. NG Environmental Contractors will require the owner to provide power and water to complete this scope of work listed in this proposal. **Please note:** Proposal is based on prevailing wage rates and **void** after ninety (90) days.

SCOPE OF WORK:

Removal and disposal of construction debris at pit basement level

Respectfully submitted

Nolberto Galicia

NG Environmental Contractors Inc

June 10, 2002

WILLIAM RAWN ASSOCIATES, Architects Inc.
 27 School Street
 BOSTON, MA 02108

Project:
BROOKLINE HIGH SCHOOL - 3RD FLOOR RENOVATIONS & QUAD REPAIRS
115 Greenough Street
BROOKLINE , MA 02445

COP 04 - CHANGE ORDER PROPOSAL

OBJECT:

Cost to perform coring services at pit (spinkler room) for additional testing and shoring reinforcement of pit and tunnel

Note:

Cost for engineering details of cores: EXCLUDED

Cost of core repairs/infill: EXCLUDED

Item #	DESCRIPTION	Unit	QTY	\$ / unit	Subtotal	TOTAL
--------	-------------	------	-----	-----------	----------	-------

Quote:

See LOTHROP Quote, dated 06/10/2022

A) Core samples for Engineering assessment

LS 1 \$3,250.00 **\$3,250.00**

C) Additional Shoring Scope

LS 1 \$2,475.00 **\$2,475.00**

Subtotal **\$5,725.00**

G.C. Fees (10%) - ADD

% 10.00% **\$572.50**

Bond Fee (1.5%) - ADD

% 1.50% **\$94.46**

TOTAL \$6,391.96 \$6,391.96

SAY: \$6,392.00

TOTAL ADD AMOUNT: Six Thousand Three Hundred Ninety Two Dollars

NOTE:

B) Deduct GPR Technology, per attached quote


LS 1 \$850.00 **\$850.00**

Sincerely,

Alex Galanos - Project Manager
Lambrian Construction, Corp

Recommended for approval by the Town of
 Brookline

A. Jonic
 6/13/22



Alex Galanos

From: Andrew Jonic <AJonic@rawnarch.com>
Sent: Friday, June 10, 2022 1:31 PM
To: Alex Galanos
Cc: Tony Guigli; andyvo@hillintl.com; Parks, Ian; Warrington, Martin; Anthony Whitman; James Cusolito; Jim Lambrianidis
Subject: RE: BHS_ 00834-22 CO-1 Proposal for Pit Coring
Categories: BROOKLINE H.S.

Hi Alex,

Our comments:

The engineer for the shoring company should submit a proposed detail to infill the cores. Another firm can fill them in; however the "fix" should come from the shoring structural engineer.
Other than that, please submit the proposal formally like the other changes orders we've reviewed today.

Andy

Andrew Jonic AIA
Senior Associate
c. 617.548.4275

WILLIAM RAWN ASSOCIATES | Architects, Inc.

27 School Street
Second Floor
Boston, MA 02108
t. 617.423.3470
www.rawnarch.com

From: Alex Galanos <agalanos@lambrian.com>
Sent: Friday, June 10, 2022 12:45 PM
To: Andrew Jonic <AJonic@rawnarch.com>
Cc: Tony Guigli <tguigli@brooklinema.gov>; andyvo@hillintl.com; Parks, Ian <IanParks@hillintl.com>; Warrington, Martin <MartinWarrington@hillintl.com>; Anthony Whitman <awhitman@lambrian.com>; James Cusolito <jcusolito@lambrian.com>; Jim Lambrianidis <jlambrianidis@lambrian.com>
Subject: BHS_ 00834-22 CO-1 Proposal for Pit Coring

[External]

Andrew,

Please see Lothrop's proposal below for additional work to be performed at the Pit in the basement.
Please review and let us know if it is acceptable to proceed. I will prepare a change order.

Thank you,

3.D.

ALEX GALANOS

Project Manager / Estimator

Lambrian Construction Corp.

420 Turnpike Street

Canton, MA 02021

T. 781-461-1100

F. 781-461-9885



Hi Alex,

Please find pricing for our team to perform coring services at Brookline High School below as requested:

a.) Core Samples for Engineering Assessment:

1. Subcontractor GPRS, Inc to provide service to identify slab thicknesses, identify stratum, define location of structural elements in slab, and locate underground utilities if present where coring samples must be taken at three (3) locations;
2. Coring drill equipment rental;
3. One (1) foreman for one (1) 8-hour shift to take core samples at three (3) locations;
4. Engineer's recommendations shall be provided for repair to coring locations;
5. Repair to locations where core samples must be taken to be performed by others.

TOTAL PRICE..... \$3,250.00 LUMP SUM

b.) Deduction if GPR technology provides adequate information

Reduce the total price listed above in item "b" if GPR technology provides adequate information and coring is not required.

TOTAL DEDUCTION..... (\$850.00) LUMP SUM

c.) Additional Shoring Scope:

This price includes additional labor and equipment required to modify design, install, and remove shoring inside 6' W X 20' L X 53" deep cavity in the fire protection room.

TOTAL PRICE..... \$2,475.00 LUMP SUM

Thank you,

Patrick

Patrick R. Lothrop

President & CEO
Lothrop Companies, Inc
30 Winter Street
Malden, MA 02148-1426

Cell: (617) 817-0356
Office: (781) 324-3021
Fax: (781) 324-3021
Web: www.lothropco.com

Scaffolding & Shoring Specialists | Lothrop Co



Alex Galanos

From: Alex Galanos
Sent: Thursday, June 16, 2022 12:09 PM
To: Andrew Jonic
Cc: Colleen de Matta; Mark Borreliz; Tony Guigli; andyvo@hillintl.com; Parks, Ian; Kalous, Paul (PaulKalous@hillintl.com); Jim Lambrianidis
Subject: RE: BROOKLINE HS_ Tiles Proposal Breakdown

Andrew,

Per your request, below is the cost breakdown:

- Furnish & Install cost of New Tiles: **\$40,310.00**
- Cost of Cleaning, Prep and Installation of Salvaged Tiles: **\$41,055.00**
- Cost to Repair & Clean existing Tiles @ 3rd Floor Corridor: **\$ 27,435.00**

Let me know if you have any questions.

Thank you,

ALEX GALANOS
Project Manager / Estimator

Lambrian Construction Corp.
420 Turnpike Street
Canton, MA 02021
T. 781-461-1100
F. 781-461-9885



From: Andrew Jonic <AJonic@rawnarch.com>
Sent: Tuesday, June 14, 2022 11:40 AM
To: Alex Galanos <agalanos@lambrian.com>
Cc: Colleen de Matta <CdeMatta@rawnarch.com>; Mark Borreliz <mborreliz@rawnarch.com>; Tony Guigli <tguigli@brooklinema.gov>; andyvo@hillintl.com; Parks, Ian <IanParks@hillintl.com>; Kalous, Paul (PaulKalous@hillintl.com) <PaulKalous@hillintl.com>; Jim Lambrianidis <jlambrianidis@lambrian.com>
Subject: RE: BROOKLINE HS_ Tiles Proposal

Hi Alex,

There is a total of 480 sq ft of tile to be installed on this project and 5,100 sq ft of walls to be cleaned. Please ask the subcontractor to separate the cleaning/repair of existing cost from the cost of installing new and/or salvaged tile.

Thank you,

Andy

Andrew Jonic AIA

July 14, 2022

WILLIAM RAWN ASSOCIATES, Architects Inc.
27 School Street
BOSTON, MA 02108

Project:
BROOKLINE HIGH SCHOOL - 3RD FLOOR RENOVATIONS & QUAD REPAIRS
115 Greenough Street
BROOKLINE, MA 02445

PCO #08

OBJECT:

Demolition of Corridor Fire Doors @ Phase 1, not shown on drawings, Per RFI 011 response.

Item #	DESCRIPTION	Unit	QTY	\$ / unit	Subtotal	TOTAL
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Quote:

See NG ENVIRONMENTAL proposal , date 06/16/2022	LS	1	\$2,092.00	\$2,092.00	
Subtotal				\$2,092.00	
GC Fees	%	10.00%		\$209.20	
Subtotal				\$2,301.20	
Bond Fee (1.5%) - ADD	%	1.50%		\$34.52	
TOTAL				\$2,335.72	\$2,335.72
				SAY:	\$2,336.00

TOTAL ADD AMOUNT: Two Thousand Three Hundred Thirty Six Dollars.

Sincerely,

Alex Galanos - Project Manager
Lambrian Construction, Corp



Hill recommended for ToB approval

Recommended for ToB approval.

Andy Jonic
7/14/2022



NG Environmental Contractors, Inc.
Asbestos Abatement · Lead Paint · Selective Demolition · Mold · Haz-Mat

Date: 06/16/2022

To Alex Galanos
Estimator/Project Manager
Lambrian Construction

Project: Brookline High School

Re: COR # 2 Shoring

PROPOSAL SUMMARY:

NG Environmental Contractors, LLC is pleased to submit this proposal for the aforementioned project, to be completed for the lump sum of **\$ 2,194.37** (Two Thousand One Hundred Ninety-Four Dollars and Thirty-Seven Cents) for the scope or work listed below in this proposal. NG Environmental Contractors will supply all labor, equipment, materials, and disposal to complete the scope of work listed below. NG Environmental Contractors will require the owner to provide power and water to complete this scope of work listed in this proposal. **Please note:** Proposal is based on prevailing wage rates and **void** after ninety (90) days.

SCOPE OF WORK

Man Hours	20
Rate per hour	\$ 68.00
Sub Total	\$ 1,360.00
Burden (35.03%)	\$ 476.41
Total Labor	\$ 1,836.41

Materials	\$ 00.00
Equipment	\$ 150.00
Disposal	\$ 0.00
Sub Total	\$ 1,896.41
OH \$ P (15%)	\$ 297.96

Gran Total:	\$ 2,194.37
-------------	-------------

Respectfully submitted

Nolberto Galicia

NG Environmental Contractors Inc

9 Osgood Street, Lawrence, MA 01843
Office 978-794-7922 Fax 978-794-7923

WORK ORDER FORM

GENERAL CONTRACTOR: LAMBRIAN CONSTRUCTION

PROJECT NAME: BROOKLINE HIGH SCHOOL

DATE: 05 / 12 / 2022
Month Day Year

PROJECT LOCATION: 115 Greenough st. Brookline, Ma

Day of the Week:

☐ Monday ☐ Tuesday ☐ Wednesday ☒ Thursday ☐ Friday
☐ Saturday ☐ Sunday

☐

ASBESTOS

☐

DEMOLITION

☐

LEAD

☐

HAZMAT

☐

MOLD

No	Name	Hours	Equipment	Material
1	Danilo Galicia	4		
2	Alexander Hernandez	4		
3	Antonio Arana	4		
4	Jorge & Paul Ortega	4		
5				
6				
7				
8				
9				
10				
11				
12				
13				
14				
15				
TOTAL HOURS:		16		

16 HOURS

DESCRIPTION OF WORK

Activity # 1: Demo partition on hallway (fire doors casing)

Activity # 2:

Activity # 3:

Activity # 4:

I do hereby authorize
NG ENVIRONMENTAL CONTRACTORS INC
To perform the above-described work

QC 5-13-2022

GC Representative -Signature

Supervisor-Signature

NG Environmental Contractors Inc



Lambrian Construction Corp.
 420 Turnpike Street
 Canton, Massachusetts 02021
 P: (781) 461-1100
 F: 781 461-9885

**Project: 22-009 BROOKLINE High School Expansion -
 3rd Floor Renovation & Quad Repairs**
 115 Greenough Street
 BROOKLINE, Massachusetts 02445

RFI #11: Corridor partition & Doors - Demo status

Status	Open		
To	Submittals Admin WRA (William Raw Associates, Architects Inc.)	From	Alexandre Galanos (Lambrian Construction Corp.) 420 Turnpike Street Canton, Massachusetts 02021
Date Initiated	May 3, 2022	Due Date	May 6, 2022
Location		Project Stage	Course of Construction
Cost Impact	Yes (Unknown)	Schedule Impact	TBD
Spec Section		Cost Code	
Drawing Number		Reference	
Linked Drawings			
Received From			
Copies To	Mark Borreliz (William Raw Associates, Architects Inc.), James Cusolito (Lambrian Construction Corp.), Colleen DeMatta (William Raw Associates, Architects Inc.), Theodore Eliopoulos (Lambrian Construction Corp.), Alexandre Galanos (Lambrian Construction Corp.), Nolberto Galicia (NG Environmental Contractors LLC), Tony Guigli (TOWN OF BROOKLINE), Andrew Jonic (William Raw Associates, Architects Inc.), Paul Kalous (Hill International, Inc.), James Lambrianidis (Lambrian Construction Corp.), Mark Sacco (TOWN OF BROOKLINE), Robert Veilleux (NG Environmental Contractors LLC), Andy Vo (Hill International, Inc.), Martin Warrington (Hill International, Inc.), Robert Wear (William Raw Associates, Architects Inc.), Anthony Whitman (Lambrian Construction Corp.)		

Activity

Question

Question from Alexandre Galanos Lambrian Construction Corp. on Tuesday, May 3, 2022 at 05:00 PM EDT

Per Demo contractor, the corridor partitions and doors were not shown to be removed on the drawings.
 Per our field meeting with the architect on Monday 5/2, Lambrian was informed that these doors and partitions need to be demolished.
 See photos and email attached.
 Please advise how to proceed

Attachments

[RFI011_BHS_photo2.jpg](#), [RFI011_BHS_photo1.jpg](#), [RFI 11 NG environmental.pdf](#)

WRA Response:

1. The northern portion of the non-structural archway was shown to be demolished in the demolition drawings.
 Please see A008 and A003.

2. The doors and partitions for the remainder of the non-structural archway should be demolished.

See additional comments on the attached photos.

-Andy Jonic
 WRA
 5/5/22

Alex Galanos

From: Nolberto Galicia <ngalicia@ngenvironmental.com>
Sent: Tuesday, May 3, 2022 4:38 PM
To: Alex Galanos; Nolberto Galicia; David Cacciola; Dane Hanson; Nick Rio; Anthony Whitman; James Cusolito; Jim Lambrianidis
Subject: RE: BROOKLINE_Demo Door at Corridor

Hi Alex,
This doors and partitions was supposed to stay at the original drawings. So how you want to proceed submit a COR or T&M.

Please advise.

Thanks

NG

Sent from my T-Mobile 5G Device

----- Original message -----

From: Alex Galanos <agalanos@lambrian.com>
Date: 5/3/22 4:24 PM (GMT-05:00)
To: Nolberto Galicia <ngalicia@ngenvironmental.com>, Robert Veilleux <rveilleux@ngenvironmental.com>, David Cacciola <david.cacciola@gmail.com>, Dane Hanson <dhanson@eecne.com>, Nick Rio <nickr@pjdionne.com>, Anthony Whitman <awhitman@lambrian.com>, James Cusolito <jcusolito@lambrian.com>, Jim Lambrianidis <jlambrianidis@lambrian.com>
Subject: BROOKLINE_Demo Door at Corridor

To demo, HVAC, electrical and plumbing trades:

Per Architect's site visit last Monday 5/2, these doors and partitions at corridor need to be demolished.

Please coordinate all necessary disconnections (if any) in order for Demo to proceed

Please coordinate with the site superintendents as needed.

Tony Whitman – Shift 1 superintendent – cell: (978) 502-0464

Jim Cusolito – Shift 2 superintendent – cell: (781) 662-4273

3.D.

Thank you,

ALEX GALANOS

Project Manager / Estimator

Lambrian Construction Corp.

420 Turnpike Street

Canton, MA 02021

T. 781-461-1100

F. 781-461-9885

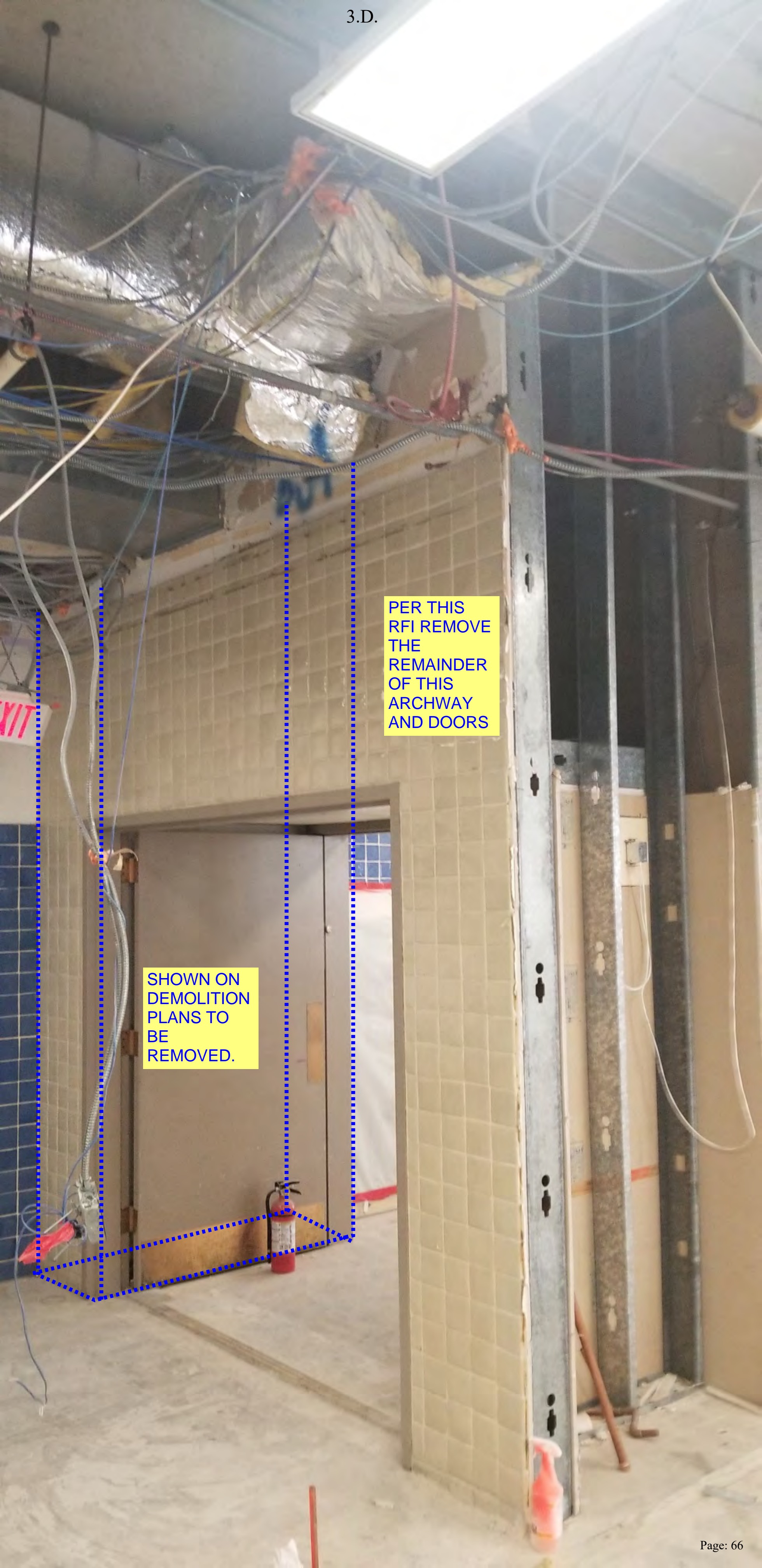


Sent from my Verizon, Samsung Galaxy smartphone

3.D.

PER THIS
RFI REMOVE
THE
REMAINDER
OF THIS
ARCHWAY
AND DOORS

SHOWN ON
DEMOLITION
PLANS TO
BE
REMOVED.



PER THIS
RFI REMOVE
THE
REMAINDER
OF THIS
ARCHWAY
AND DOORS

SHOWN ON
DEMOLITION
PLANS TO
BE
REMOVED.

July 14, 2022

WILLIAM RAWN ASSOCIATES, Architects Inc.
27 School Street
BOSTON, MA 02108

Project:
BROOKLINE HIGH SCHOOL - 3RD FLOOR RENOVATIONS & QUAD REPAIRS
115 Greenough Street
BROOKLINE , MA 02445

PCO #10

OBJECT:

Demolition of Corridor Doors Not Show on Drawings between Rooms 368 & 373, per RFI 058 Response.

Item #	DESCRIPTION	Unit	QTY	\$ / unit	Subtotal		TOTAL
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Quote:

See NG ENVIRONMENTAL proposal , date 06/30/2022	LS	1	\$1,007.84	\$1,007.84		
	Subtotal			\$1,007.84		
GC Fees	%	10.00%		\$100.78		
	Subtotal			\$1,108.62		
Bond Fee (1.5%) - ADD	%	1.50%		\$16.63		
	TOTAL			\$1,125.25		\$1,125.25
				SAY:		\$1,125.00

TOTAL ADD AMOUNT: One Thousand One Hundred Twenty Five Dollars.

Sincerely,

Alex Galanos - Project Manager
Lambrian Construction, Corp



Recommended for Town of Brookline approval

7/14/22
A Jonic



Hill recommended for ToB approval.



NG Environmental Contractors, Inc.
Asbestos Abatement · Lead Paint · Selective Demolition · Mold · Haz-Mat

Date: 06/30/2022

To Alex Galanos
Estimator/Project Manager
Lambrian Construction

Project: Brookline High School

Re: COR # 5 Demo Corridor fire case no in plans

PROPOSAL SUMMARY:

NG Environmental Contractors, LLC is pleased to submit this proposal for the aforementioned project, to be completed for the lump sum of **\$1,007.84** (One Thousand Seven Dollars and Eighty-Four Cents) for the scope or work listed below in this proposal. NG Environmental Contractors will supply all labor, equipment, materials, and disposal to complete the scope of work listed below. NG Environmental Contractors will require the owner to provide power and water to complete this scope of work listed in this proposal. **Please note:** Proposal is based on prevailing wage rates and **void** after ninety (90) days.

SCOPE OF WORK

Man Hours		9
Rate per hour	\$	68.00
Sub Total	\$	612.00
Burden (35.03%)	\$	214.38
Total Labor	\$	826.38

Materials	\$	00.00
Equipment	\$	00.00
Disposal	\$	50.00
Sub Total	\$	876.38
OH \$ P (15%)	\$	131.46

Gran Total:	\$	1,007.84
-------------	----	----------

Respectfully submitted

Nolberto Galicia

NG Environmental Contractors Inc

9 Osgood Street, Lawrence, MA 01843
Office 978-794-7922 Fax 978-794-7923

WORK ORDER FORM

GENERAL CONTRACTOR: LAMBRIAN CONSTRUCTION

PROJECT NAME: BROOKLINE HIGH SCHOOL

DATE: 06 / 28 / 2022
Month Day Year

PROJECT LOCATION: 115 Greenough st. Brookline, Ma

Day of the Week:
☐ Monday ☒ Tuesday ☐ Wednesday ☐ Thursday ☐ Friday
☐ Saturday ☐ Sunday

☐ ASBESTOS ☐ DEMOLITION ☐ LEAD ☐ HAZMAT ☐ MOLD

No	Name	Hours	Equipment	Material
1	Ismar Sanchunelli	3	- Sawzall	
2	Rigoberto Reyes	3		
3	Jorge Aquino	3		
4				
5				
6				
7				
8				
9				
10				
11				
12				
13				
14				
15				
TOTAL HOURS:				

Activity # 1: Demo corridor fire case (not in plans) Doors

Activity # 2:

Activity # 3:

Activity # 4:

I do hereby authorize
NG ENVIRONMENTAL CONTRACTORS INC
To perform the above-described work


GC Representative -Signature


Supervisor-Signature

NG Environmental Contractors Inc



Lambrian Construction Corp.
 420 Turnpike Street
 Canton, Massachusetts 02021
 P: (781) 461-1100
 F: 781 461-9885

**Project: 22-009 BROOKLINE High School Expansion -
 3rd Floor Renovation & Quad Repairs**
 115 Greenough Street
 BROOKLINE, Massachusetts 02445

RFI #58: Door & wall Demo @ Corridor Phase 1

Status	Open		
To	Submittals Admin WRA (William Raw Associates, Architects Inc.)	From	Alexandre Galanos (Lambrian Construction Corp.) 420 Turnpike Street Canton, Massachusetts 02021
Date Initiated	Jun 27, 2022	Due Date	Jun 27, 2022
Location		Project Stage	Course of Construction
Cost Impact	Yes (Unknown)	Schedule Impact	No
Spec Section		Cost Code	
Drawing Number		Reference	
Linked Drawings			
Received From	Robert Veilleux (NG Environmental Contractors LLC)		
Copies To	Vicky Arana (NG ENVIRONMENTAL CONTRACTORS INC), Mark Borreliz (William Raw Associates, Architects Inc.), James Cusolito (Lambrian Construction Corp.), Colleen DeMatta (William Raw Associates, Architects Inc.), Theodore Eliopoulos (Lambrian Construction Corp.), Alexandre Galanos (Lambrian Construction Corp.), Nolberto Galicia (NG Environmental Contractors LLC), Tony Guigli (TOWN OF BROOKLINE), Andrew Jonic (William Raw Associates, Architects Inc.), Paul Kalous (Hill International, Inc.), James Lambrianidis (Lambrian Construction Corp.), Mark Sacco (TOWN OF BROOKLINE), Andy Vo (Hill International, Inc.), Martin Warrington (Hill International, Inc.), Robert Wear (William Raw Associates, Architects Inc.)		

Activity

Question

Question from Alexandre Galanos Lambrian Construction Corp. on Monday, Jun 27, 2022 at 12:21 PM EDT

URGENT

Per attached Drawing A003, doors and Wall in corridor Phase1 are not shown to be demolished. Dwg A023 shows tiles only to be demolished.

Please Confirm demolition of entire wall and doors.

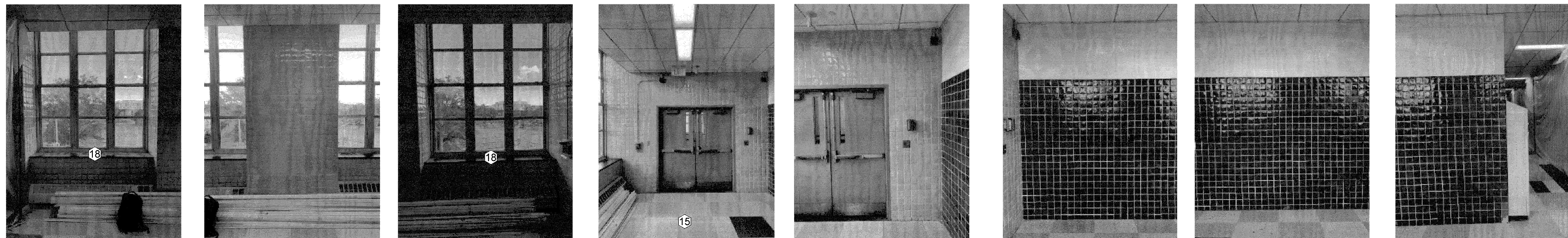
Attachments

[A023.pdf](#), [RFI058_BHs_Door Demo @ Corridor Ph1.jpg](#), [A003.pdf](#)

Awaiting an Official Response

Demolish entire wall and doors.

Mark Borreliz, AIA WRA 2022-06-27

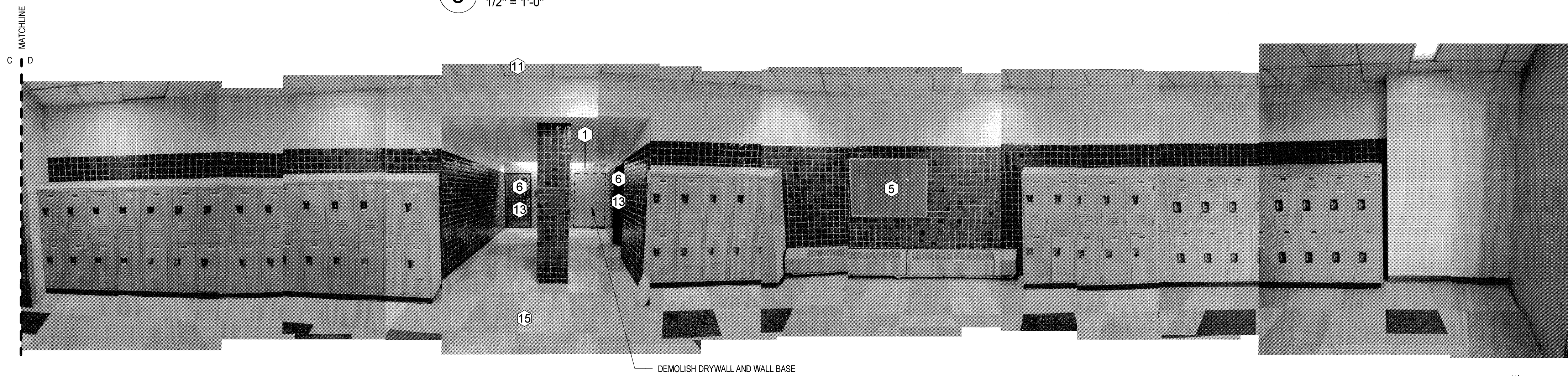


SEE A020 FOR GENERAL NOTES

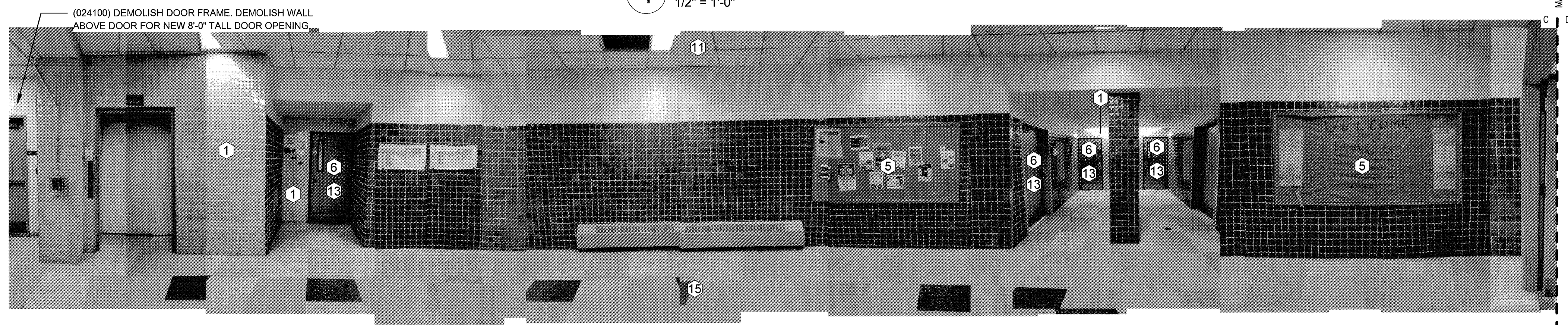
KEYNOTES

- 1 DEMOLISH TILE
- 2 REMOVE AND SALVAGE TILE
- 3 REMOVE FIN TUBE COVER
- 4 DEMOLISH BUILT IN CASEWORK
- 5 DEMOLISH PIN UP BOARD
- 6 REMOVE DOOR HARDWARE
- 7 DEMOLISH DRYWALL. SALVAGE DOOR AND FRAME
- 8 REMOVE WALL ELEMENT NOT PART OF DRYWALL OR BRICK. PATCH BRICK AND DRYWALL
- 9 DEMOLISH TILE AND BACKUP WALL
- 10 SALVAGE WATER FOUNTAIN - SEE P DWGS
- 11 REMOVE ALL ACOUSTIC CEILING TILE, CEILING GRIDS, AND PERIMETER ALUMINUM CEILING ANGLES. REMOVE ALL CEILING HANGERS AND PERIMETER TRIM FASTENERS.
- 12 SALVAGE BRICK
- 13 REMOVE DOOR
- 14 REMOVE WALL BASE
- 15 REMOVE FINISH FLOOR. REMOVE UNERLAYMENT AND GRIND CEMENTITIOUS SLAB TOPPING BY 1/4"-1/2". GRINDING OF ENTIRE CONCRETE SLAB BY 096510 RESILIENT FLOOR INSTALLER
- 16 SALVAGE AED / FE CABINET
- 17 REMOVE CONDUIT/ELEC DEVICES AND ABANDONED BOXES/COVER PLATES- SEE E DWGS - PATCH AT DRYWALL LOCATIONS AND INFILL AT BRICK/TILE LOCATIONS
- 18 DEMOLISH WINDOW SILL
- 19 REMOVE WINDOW SHADE
- 20 DEMOLISH LOCKERS

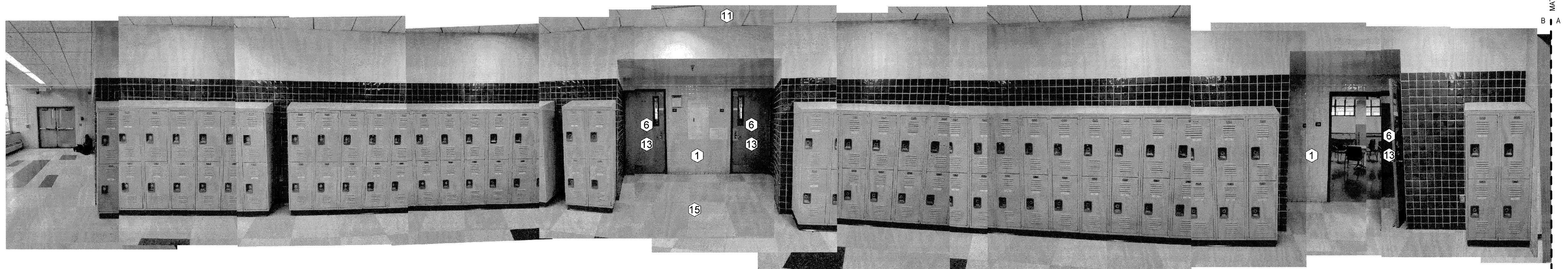
5 DEMO ELEVATION - EAST CORRIDOR - EAST 1
1/2" = 1'-0"



4 DEMO ELEVATION - EAST CORRIDOR - NORTH 2
1/2" = 1'-0"



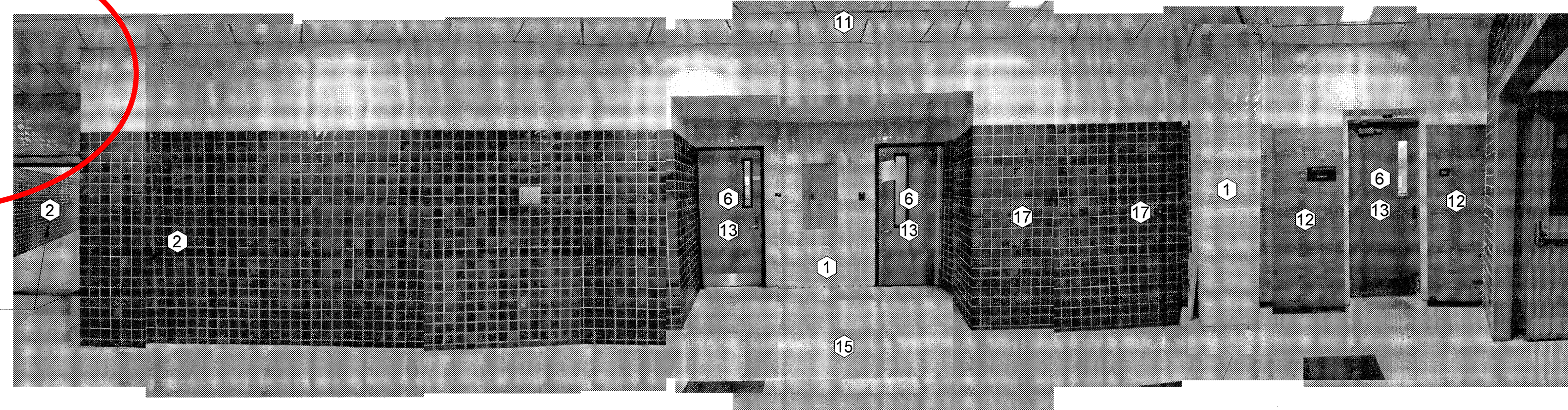
3 DEMO ELEVATION - EAST CORRIDOR - NORTH 1
1/2" = 1'-0"



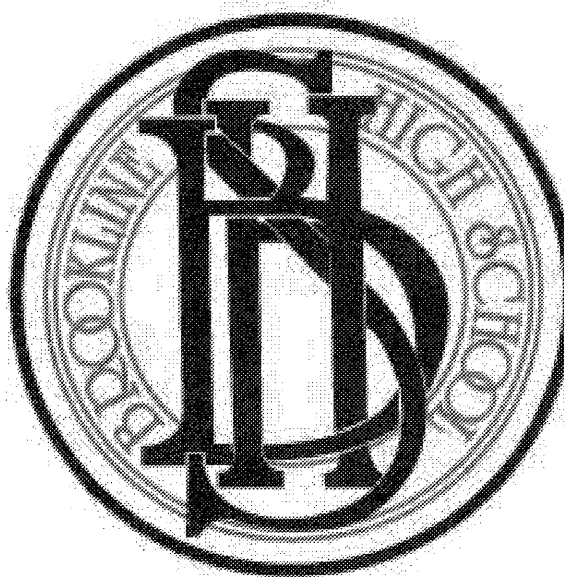
2 DEMO ELEVATION - EAST CORRIDOR - SOUTH 2
1/2" = 1'-0"



1 DEMO ELEVATION - EAST CORRIDOR - SOUTH 1
1/2" = 1'-0"



RE-ISSUED AS PART OF PERMIT SET



WRA PROJECT # 21706

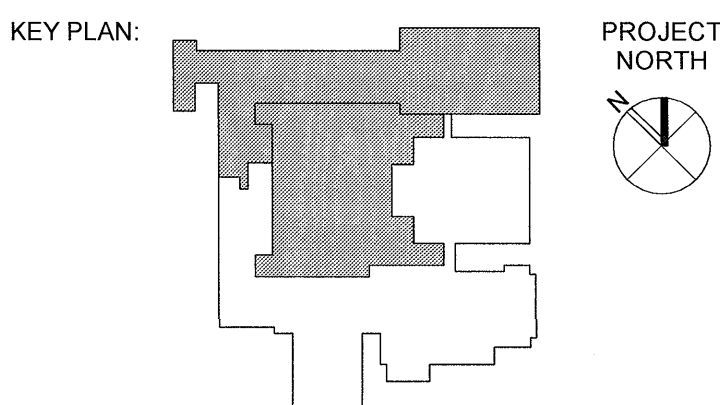
TOWN OF BROOKLINE
BROOKLINE HIGH SCHOOL
EXPANSION
BROOKLINE, MA 02445

THIRD FLOOR RENOVATION
AND QUAD REPAIR

ARCHITECT William Raw Associates, Architects, Inc. (617) 423-3470 27 School Street, Second Floor Boston, MA 02108	
MEP, FP, IT, SECURITY ENGINEER Garcia Galuska Desousa, Inc. 375 Faunce Corner Road, Suite D Dorchester, MA 02124	(508) 998-5700
ACOUSTICS & AUDIOVISUAL Acoustech Inc. 33 Moulton Street Cambridge, MA 02138	(617) 499-8000
INTERIOR DESIGN, FF&E Steffens Associates, Inc. 77 N. Washington Street Boston, MA 02114	(617) 723-5164
CODE CONSULTING Hastings Consulting 142 Hanlon Road Holliston, MA 01746	(508) 397-8417
COST ESTIMATOR PM&C Cost Estimating 20 Downer Ave Suite 1C, Hingham, MA 02043	(781) 740-807
LIGHTING DESIGNER Horton Lees Brogden Lighting Design 233 Lewis Wharf Boston, MA 02110	(857) 702-8830
SPECIFICATIONS Kalin Associates 1121 Washington St. West Newton, MA 02465	(617) 954-5477
HAZMAT/ABATEMENT Universal Environmental Consultants 12 Brewster Rd. Framingham, MA	(508) 628-5486
SIGNAGE Whitney Veigas 292 Reservoir St Needham, MA 02494	(781) 449-1351
LANDSCAPE ARCHITECT Lennon Brooke LLC 31 Oxbow Road Concord, MA 01742	(978) 222-3700
CIVIL ENGINEER Nitch Engineering, Inc. 2 Center Plaza, Suite 430 Boston, MA 02108	(617) 338-0063

01/28/2022
CONTRACT DOCUMENTS

REVISIONS:		
REV. NO.	DATE	REVISION
3	02/18/2022	ADDENDUM #3
5	03/30/2022	PERMIT SET



DRAWING TITLE:
DEMOLITION ELEVATIONS -
EAST CORRIDOR

DRAWN BY: MB

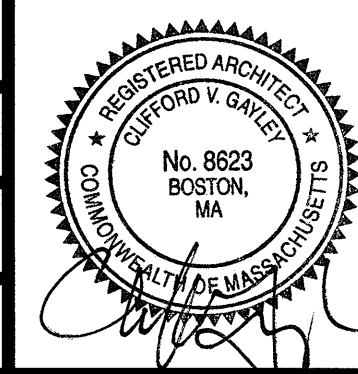
CHECKED BY: AJ

SCALE: As Indicated

DATE: 01/28/2022

DRAWING NUMBER:

A023





November 11, 2022

WILLIAM RAWN ASSOCIATES, Architects Inc.
 27 School Street
 BOSTON, MA 02108

Project:

BROOKLINE HIGH SCHOOL - 3RD FLOOR RENOVATIONS & QUAD REPAIRS
115 Greenough Street
BROOKLINE , MA 02445

PCO #30 R

OBJECT:

Per RFI 71-R1 Response:

Provide P-LAM back panels @ the back of corridor benches (14 locations) - not shown on initial documents.

Item #	DESCRIPTION	Unit	QTY	\$ / unit	Subtotal	Subtotal	TOTAL
<u>Quote:</u>							
	See WINDSOR's quote - dated 08/01/22, COR 2854-3R1	LS	1	\$19,160.00		\$19,160.00	
	See attached email, dated 11/11/22						
<u>Materials: ADD</u>							
	Wood Studs or Metal Studs supports 2x4	LF	700	\$0.95	\$665.00		
	Fasteners, Drill Bits, Glue, Etc.	LS	1	\$350.00	\$350.00		
	Subtotal				\$1,015.00	\$1,015.00	
<u>Labor: ADD</u>							
	Install Wood Studs and P-Lam back panels	hrs	56	\$83.42	\$4,671.52		
	2 carpenters @ 2 hrs per bench alcove - 14 Alcoves	%	30%		\$1,401.46		
	Insurance and Tax on Labor (30%)						
	Subtotal				\$6,072.98	\$6,072.98	
	SUBTOTAL					\$26,247.98	
	G.C. Fees (5%) - ADD	%	5.00%			\$1,312.40	
						\$27,560.37	
	Bond Fee (1.5%) - ADD	%	1.50%			\$413.41	
	SUBTOTAL					\$27,973.78	
	TOTAL						

SAY: \$27,974.00

TOTAL ADD AMOUNT: Twenty Seven Thousand Nine Hundred Seventy Four Dollars.

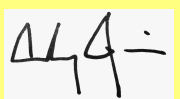
Sincerely,

Alex Galanos - Project Manager
Lambrian Construction, Corp



Hill recommends ToB approval

Recommended for approval by the Town of Brookline
 November 11, 2022
 Andrew Jonic
 William Rawn Associates, Architects Inc.



2458 - 3R1

Date:	8/1/2022
Project:	Brookline High School
Job #:	2458
Subject:	RFI-71 Alcove Benches

[illegible]

Page: 75

Alex Galanos

From: Thomas Heaney <TJH@windsorwoodworking.com>
Sent: Wednesday, November 9, 2022 1:02 PM
To: jimmbrianidis@lambrian.com; Alex Galanos
Subject: Bench backs
Attachments: COR 2458-3R1.pdf

Hi Jim,

Please see the attached COR for the backs of the benches. We can take off the overhead and profit to help reduce the cost but that is the most we can take off this number. Also please keep in mind that if another millworker or trade is to work on these benches that would void our warranty for them

Thank you

-Tom

November 3, 2022

WILLIAM RAWN ASSOCIATES, Architects Inc.
27 School Street
BOSTON, MA 02108

Project:

BROOKLINE HIGH SCHOOL - 3RD FLOOR RENOVATIONS & QUAD REPAIRS
115 Greenough Street
BROOKLINE, MA 02445

PCO #57

OBJECT:

F&L Landscaping
Per Field Bulletin 24: Replace Planting @ Quad.

Item #	DESCRIPTION	Unit	QTY	\$ / unit	Subtotal	Subtotal	TOTAL
--------	-------------	------	-----	-----------	----------	----------	-------

Quote:

See F&L Landscaping's Quote / PCO#1, dated 10/20/22 LS 1 \$1,212.00 \$1,212.00

Materials: ADD

N/A

Labor: ADD

N/A

	Subtotal				\$1,212.00
G.C. Fees (5%) - ADD	%	5.00%			\$60.60
					\$1,272.60
Bond Fee (1.5%) - ADD	%	1.50%			\$19.09
	TOTAL				\$1,291.69

SAY: \$1,292.00

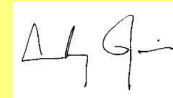
TOTAL ADD AMOUNT: One Thousand Two Hundred Ninety Two Dollars.

Sincerely,

Alex Galanos - Project Manager
Lambrian Construction, Corp

Recommended for approval by the Town of
Brookline

11/03/2022
Andrew Jonic
William Rawn Associates



F & L Landscaping Corporation

10 Rex Drive
 Braintree, MA 02184
 Phone # 781-843-2522
 asullivan@fandllandscaping.com

**Proposal**

Proposal #
PCO#
Date
10/20/2022

Brookline High School
 115 Greenough St.
 Brookline, MA 02445

Web Site
www.FandLLandscaping.com

Description	Total
Lambrian Construction	
Brookline High School	
115 Greenough St, Brookline MA 02445	
We will provide the labor, materials and equipment to:	
-supply and install 1 each 5' Common Witch Hazel	
-supply and install 25 each 1 gallon Big Blue Lilyturf	
For the total lump sum of:	1,212.00
Thank you for considering our proposal.	
Total	\$1,212.00

AIA DOCUMENT | G701-2000

Change Order*(Instructions on reverse side)***PROJECT:***(Name and address)*

Exterior Envelope Repairs Project
 Brookline 5 Buildings
 Town Of Brookline
 Brookline, MA

TO CONTRACTOR:*(Name and address)*

Thompson Waterproofing
 93 Federal Ave
 Quincy, MA 02169

CHANGE ORDER NUMBER: 3**DATE:** January 4, 2023**ARCHITECT'S PROJECT NUMBER:** 2019058**CONTRACT DATE:** 2022**CONTRACT FOR:** Exterior Envelope Repairs
Project- Brookline 5 BuildingsOWNER ☐ARCHITECT ☐CONTRACTOR ☐FIELD ☐OTHER ☐**THE CONTRACT IS CHANGED AS FOLLOWS:***(Include, where applicable, any undisputed amount attributable to previously executed Construction Change Directives.)***Contractor shall:**

- Fabricate & install four (4) new downspouts at Fire Station #4 (2 aluminum, 2 copper) and associated elbows and straps
- Fabricate & install six (6) new conductor boxes at FS #4
- Install four (4) new wall strainers at through-wall scupper locations at FS #4
- Repair spalls and cracks on a T&M expense at FS #4

The original (Contract Sum) (~~Guaranteed Maximum Price~~) was \$ 598,000.00The net change by previously authorized Change Orders \$ 88,594.48The (Contract Sum) (~~Guaranteed Maximum Price~~) prior to this Change Order was \$ 686,594.48The (Contract Sum) (~~Guaranteed Maximum Price~~) will be (increased) (~~decreased~~)(~~unchanged~~) by this Change Order in the amount of \$ 19,465.79The new (Contract Sum) (~~Guaranteed Maximum Price~~) including this Change Order will be \$ 706,060.27The Contract Time will be (increased) (~~decreased~~) (~~unchanged~~) by twenty-one (21) days.The date of Substantial Completion as of the date of this Change Order therefore is January 2023

NOTE: This Change Order does not include changes in the Contract Sum, Contract Time or Guaranteed Maximum Price which have been authorized by Construction Change Directive for which the cost or time are in dispute as described in Subparagraph 7.3.8 of AIA Document A201.

Not valid until signed by the Architect, Contractor and Owner.**Russo Barr Associates****ARCHITECT** *(Typed name)*

(Signature)

Andrew N. Barr, P.E.

BY

1.04.2023

DATE**Thompson Waterproofing****CONTRACTOR** *(Typed name)**(Signature)***BY****DATE****Town of Brookline****OWNER** *(Typed name)**(Signature)***BY****DATE**

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AIA DOCUMENT G701-2000**CHANGE ORDER**



Russo Barr Associates, Inc.

55 Sixth Road, Suite 6

Woburn, MA 01801

781-273-1537 tel

781-241-9745 fax

www.russobarr.com

January 4, 2023

Mr. Tony Guigli, Project Administrator
Town of Brookline
333 Washington St.
Brookline, MA 02445

Re: **Change Order 3 Recommendation Letter**
Brookline 5 Buildings Exterior Envelope Repair
Town of Brookline
Brookline, Massachusetts
RBA Project No. 2019058

Mr. Guigli:

This change order covers the installation required for the replacement of deteriorated downspouts, and the installation of new strainers and conductor boxes at Fire Station #4. The change order also includes time and material costs associated with several crack repairs located along the concrete foundation walls. The original contract amount was \$598,000 and with change orders #1 and #2 previously approved, the current contract value is \$706,060.27. Change order #3 was negotiated and it is described as follows:

- Furnish and install four (4) downspouts at the South and West Elevations. Fabricate and install four (4) scupper strainers and six (6) conductor boxes. Cost: **\$11,502.90 or \$13,362.90 with alternate.**
 - The existing downspouts were found to be deteriorated and in need of replacement. The original scope called for downspouts to be sanded and painted, and a credit for the deletion of this work has been included in this change order cost. The downspouts at the front elevation appear to have been patched with EPDM to cover damaged areas and prevent leaks. The additional cost also includes new elbows and straps and conductor boxes to better accommodate the through-wall roof drains.

The contractor has also proposed an alternate to substitutes copper conductor boxes & downspouts for aluminum on the Front (South) Elevation. The copper will provide a better match to the existing lead coated copper downspouts and will help maintain the historic appearance of the building.

 - The existing through-wall roof drains are covered with a temporary mesh installment, which is not fastened to the roof or parapet in any significant way. As a result, the drains are prone to clogs and the roof is experiencing significant ponding water. The new, permanent strainers will reduce the debris that passes through the drains, thus reducing the ponding water and help prevent future leaks.
- Patch spalls and cracks at various exterior ground floor locations. Cost: **\$6,102.89.**
 - Several cracks and spalls were observed during construction, which did not exist, or were minor and have worsened, at the time of the original survey. During the closeout

3.E.

Brookline 5 Buildings – Exterior Envelope Repair
Fire Station #4
Brookline, MA

review of Fire Station #4, the TOB and RBA agreed to proceed with these additional repairs and track all work as T&M costs.

The increase for the above work, including the copper downspout alternate, would be **\$19,465.79**. This results in a total change to the contract price, including change orders #1 & #2 of 18.1%.

Sincerely,



Jack Rushe
Assistant Project Engineer



Andrew N. Barr, P.E.
Principal



Thompson Waterproofing

Masonry Restoration & Waterproofing Specialists

Waterproofing
Joint Sealants

1/3/2023

Via Email: abarr@russobarr.com

Mr. Jack Rushe
Russo Barr Associates, Inc.
55Sixth Rd., suite 6
Woburn, MA 01801



**Subject: Exterior Envelope Repair Project Five Buildings
Brookline**

RE: COR #4 – Credit & Additional Repairs at Fire Station #4.

Dear Jack,

Thompson Waterproofing presents the following pricing information for the above referenced project. The additional scope is based on our field review and discussion. Please review the following scope of work to ensure that it meets your requirements.

FIRE STATION #4:**Original Scope of Work Credits**

- Fire Station #4 – Base scope (11A) sand, prime & paint downspouts **\$2,466.00**

Added Scope #1

- Fire Station #4 – Replace four (4) existing downspouts on west and south elevations with new “dark bronze” aluminum downspouts, elbows and straps. Furnish & install six (6) new aluminum conductor boxes “dark bronze” at all new and existing to remaining down spouts (3–4-week lead time), including modifications to existing as required to install. Fabricate & install four (4) new through-wall scupper strainers as detailed by Russo Barr Assoc., Inc. on the EPDM Roof, including roof modifications as required.
- ALTERNATE – Furnish & install two (2) copper conductor boxes, downspouts, elbows and straps in lieu of aluminum on the front (south) elevation for a historic appearance. ADD \$1,860.00 to below roofing sub-contractor lump sum pricing.

Roofing Subcontractor

Furnish & install new downspouts,	1 LS	@	\$2,589.53	\$2,589.53
Fabricate/install boxes & scupper strainers	1 LS	@	\$9,860.47	\$9,860.47

Materials and Equipment

Materials:	\$0.00
Equipment:	\$0.00

Subtotal	\$12,450.00
OH & P 10%	\$1,245.00
Bond 2%	\$273.90

TOTAL	\$13,968.90
APPLIED CREDIT	<u>\$2,466.00</u>
TOTAL CHANGE ORDER REQUEST	\$11,502.90

3.E.

Added Scope #2

- Fire Station #4 – Perform additional masonry repairs observed with Russo Barr & Town of Brookline including additional concrete patching and crack repair in various locations on the ground floor. Rebuilding brick masonry sections at infilled window on north elevation and deteriorated top two courses of chimney.

Labor

2 of Mechanics for	2 CD	@	\$2,499.20 /CD	\$4,998.40
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Materials and Equipment

Materials: Brick (salvaged/new), mortar, reinforcing, ties, detergent, repair mortar, misc.	\$290.90
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Equipment: Grinders, chipping hammer, vac., misc.	\$150.00
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Subtotal	\$5,439.30
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OH & P 10%	\$543.93
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Bond 2%	\$119.66
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TOTAL CHANGE ORDER REQUEST	\$6,102.89
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Terms & Conditions

- Excludes any and all winter conditions
- All work will be performed during regular work hours unless otherwise specified
- Any work to be performed on a Time and Materials basis shall be based on pre-approved rates. No work shall be done on a T&M basis until rates are agreed upon in writing.
- Thompson Waterproofing will complete all work in a workman-like manner in accordance with industry standards.
- All Thompson Waterproofing pricing is based on all existing materials being non-hazardous and does not include any special removal or disposal costs associated with such. Thompson Waterproofing is relying on information provided by the client, whether verbally or in writing, that there are no hazardous materials at or near the project site. As such, the client shall indemnify Thompson Waterproofing for any costs incurred due to the presence of hazardous materials.
- Any alteration or deviation from the above proposal or related specifications involving extra costs will be performed only upon receipt of a written change order and will become an extra charge over and above the contract price.

Thank you for the opportunity to submit this change order request. Should you have any questions or require additional information, do not hesitate to call me at 617-471-9966. Please advice of acceptance at your earliest convenience.

Sincerely,

THOMPSON WATERPROOFING, INC.

Max M. Wojnarowski

Cc: 22-012, Brookline 5 Bldg. Restoration

93 Federal Avenue • Quincy, MA 02169 • P 617-471-9966 • F 617-472-9977 •

www.thompsonwp.com



TOWN OF BROOKLINE
Massachusetts
DEPARTMENT OF PUBLIC WORKS

Erin Chute Gallentine
 Commissioner

Memorandum

To: Select Board
 From: Erin Gallentine, Commissioner of Public Works
 Date: January 24, 2023
 Re: **Margaret E. Robinson Playground Improvements**
Contract PW/22-20
 Cc: Charles Carey, Town Administrator
 Melissa Goff, Deputy Town Administrator
 Alexandra Vecchio, Director of Parks and Open Space
 Robert King, Director of Engineering and Transportation

On September 13, 2022 proposals for “Margaret E. Robinson Playground Playground Improvements”, Contract No. PW/22-20, were publicly opened and read. Two bids were received. They are as follows:

	Base Bid	w/ Alternates 1 and 2
Mountain View Landscapes and Lawncare, Inc.	\$1,194,300.00	\$1,389,300.00
NELM Corp. Construction	\$1,657,467.00	\$1,905,935.00

The work in this contract consists of walkways, site furniture, seat wall, fencing, play equipment, splash pad, infiltration system, irrigation modifications and planting.

Public Works recommends that this contract be awarded to Mountain View Landscapes and Lawncare, Inc. of Chicopee, MA, with alternates 1 and 2 in the amount of \$1,389,300.00.

Town Of Brookline

Contract Coding Approval Form

Department: Public Works/Engineering DivisionVendor Name: Mountain View Landscapes and Lawncare, Inc.Vendor Number: _____ Amount of Contract: \$1,389,300.00Contract #: PW/22-20 Margaret E. Robinson Playground Improvements

Purpose of Contact:

Description: Walkways, site furniture, seat wall, fencing, play equipment, splash pad, infiltration system, irrigation modifications and planting.

Coding:

Org #	Org Name *	Acct #	Acct Name	Amount
4997C219	DPW CIP	6C0007		\$1,091,515
4997C231	DPW CIP	6C0007		\$246,387
				\$51,398

* For "WS" or "C" accounts, please call it "CIP", preceded by your Dept (e.g., 4998WS08 would be "DPW CIP").

Department Head: _____

Date _____

Comptroller and Purchasing ApprovalsFunds Available/Codes Correct _____
Comptroller

Date Approved by Comptroller _____

Complies with Appropriate Procurement Law _____
(MGL ch 149, ch 30 30 30M, or ch 30B) Purchasing

Date Approved by Purchasing _____

MARIJUANA ESTABLISHMENT EQUITY POLICY

(Voted: XXXXX)

1. Purpose

The Select Board seeks to further the public interest by encouraging diversity in the local cannabis industry. Toward that end, it adopts this Marijuana Establishment Equity Policy (“Policy”) in tandem with that effort.

This Policy is intended to provide opportunities for local and diverse applicants for Select Board Marijuana Establishment licenses who wish to establish a Marijuana Establishment within the Town of Brookline. Further, this Policy establishes the procedures for Equity Applicants to apply for a Host Community Agreement with the Select Board.

2. Definitions

Marijuana Establishment – Any type of licensed Marijuana-related business, including, but not limited to, Storefront Marijuana Retailers, Marijuana Delivery Operators, Social Consumption Marijuana Retailers, and Marijuana Couriers, as those terms are defined in 935 CMR 500 *et seq.*, as amended, and the General By-Laws of the Town of Brookline

Equity Applicant - Individuals or entities that have received one of the following:

- CCC Economic Empowerment Status; or
- CCC Social Equity Status

3. Host Community Agreements

For any available Marijuana Establishment license in any category, the Town will exclusively accept and consider applications for Host Community Agreements from Equity Applicants for the 3 years following the adoption of this policy.

4. Transfer and Changes in Ownership

An Equity Applicant for a Host Community Agreement under this Policy who undergoes a transfer or change in ownership to a non-Equity Applicant loses eligibility to proceed as an Equity Applicant in the event the transferee/successor company does not qualify for a Host Community Agreement under this Policy.

5. Procedure

5.A.

Following the posting of an available Marijuana Establishment license on the Town's website, applicants are required to complete and submit the Request for Marijuana Retailer Host Community Agreement for Equity Applicants with the following required supporting documents:

1. Evidence of CCC Social Equity/Economic Empowerment status
2. Evidence of a zoning-compliant location for the proposed Marijuana Establishment (see the Town's Zoning By-Law) and the applicant's legal control of the premises, via:
 - a. Lease, or
 - b. Letter of intent signed by a property owner to enter into a lease with the applicant for the location, or
 - c. Title;
3. Required operating policies and procedures
 - a. Traffic Management Plan
 - b. Security Plan
 - c. Diversion Plan
 - d. Diversity Plan
4. Complete supporting documents include site plans and plan sets that are certified by a design professional such as an architect, engineer or land surveyor (and that show compliance regarding required zoning buffer zones) and floor plans that indicate square footage.